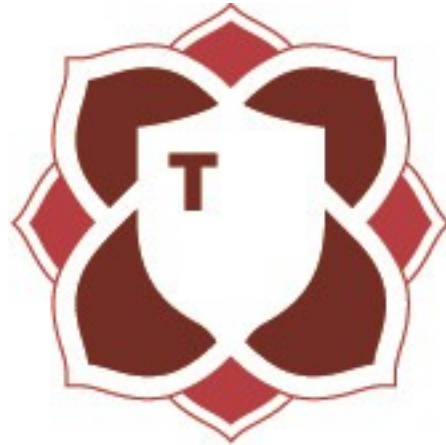


TETHEROW



TOWNHOUSE DESIGN GUIDELINES

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1 INTRODUCTION

Tetherow was envisioned and master planned as a year-round resort Community carefully nestled within a beautiful high desert environment. In order to preserve the beauty of this environment, promote thoughtfully designed and aesthetically pleasing improvements, and protect the value of all properties, all site design, architectural design, and landscape design related to the development of townhouses shall be subject to design review. The Tetherow Townhouse Design Guidelines (Guidelines) direct the Community in its effort to realize those early visions and ensure all improvements embrace an appropriate and unified design aesthetic. In addition to the Townhouse Design Guidelines, Tetherow has also established design guidelines for single family homes and commercial development within the Community and may, in the future, create guidelines for other types of development. Together, these guidelines establish and promote harmonious Community design.

These Tetherow Townhouse Design Guidelines represent a set of considerations, requirements, and procedures that are to be used by all persons and entities that are involved in the design, construction, alteration, or renovation of any improvement within Tetherow, which includes the site, buildings, and landscape associated with a townhouse neighborhood. These Guidelines may be amended from time to time by the appropriate body, and it is the Developer's and Owner's responsibility to ensure they have a current edition of these Guidelines.

The Guidelines will be administered and enforced by the Tetherow Owners Association Architectural Review Committee (ARC) in accordance with procedures set forth in the Declaration of Covenants, Conditions, Restrictions, and Easements for Tetherow (Declaration). Developers and Owners should also carefully review all applicable sections of the Declaration, sometimes referred to as the CC&R's. In the event of any conflict between the Guidelines and the Declaration, the Declaration shall control.

The Guidelines have currently undergone ten revisions, and in some cases the latest edition of the Guidelines prohibits certain approaches to design and construction or the use of building materials or plant materials that were previously allowed. As long as the approaches or materials were allowed and approved at the time of construction, they will be grandfathered for that particular townhouse neighborhood. Any proposed renovations or modifications of grandfathered elements will be reviewed on a case-by-case basis by the ARC.

If any section, subsection, paragraph, sentence, clause, or phrase of these Guidelines is, for any reason, held by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the remaining portions of these Guidelines.

2 ARCHITECTURAL REVIEW COMMITTEE

The following describes the makeup, duties, and power of the Architectural Review Committee (ARC), protections afforded the ARC, and precedents associated with any ruling. For a complete description of the powers and limitations of the ARC, Developers and Owners should refer to the Declaration.

2.1 ARCHITECTURAL REVIEW COMMITTEE MEMBERSHIP

The ARC will consist of three to five members appointed by the Declarant. The Declarant shall endeavor to select individuals whose occupations or education will provide technical knowledge and expertise relevant to matters within the ARC's jurisdiction. After the Declarant no longer owns any property within Tetherow, the Association Board will appoint members to the ARC.

2.2 ARC ADMINISTRATOR AND STAFF

An ARC Administrator and/or support staff may assist the ARC in administering, scheduling, and reviewing all submittals for design review. The Administrator shall not be a voting member of the ARC but may make recommendations to the ARC regarding design review submittals.

2.3 APPOINTMENT AND TERM OF MEMBERS

The Declarant may at its discretion appoint new or additional members to the ARC at any time.

2.4 RESIGNATION / REMOVAL OF MEMBERS

Any member of the ARC may, at any time, resign upon written notice to the Declarant stating the effective date of the member's resignation. Any member may be removed at any time by the body that appointed them, with or without cause.

2.5 DUTIES OF THE ARC

It is the duty of the ARC to consider and act upon such proposals or plans that are submitted to the ARC in accordance with the design review procedures established by these Guidelines and the Declaration. The ARC will also perform any other duties assigned to it by the Declarant, as set forth in this document and the Declaration.

The ARC will meet from time to time, as needed to perform its duties. The majority of the ARC members have the power to act on behalf of the entire ARC without the necessity of holding a meeting or consulting with the remaining members of the ARC. Decisions will be rendered in writing and will be final.

The ARC is willing to meet individually and informally with anyone who wants to discuss Tetherow related design issues. You can contact the ARC by phone at 541.647.6284 or via email at ARC@TetherowOwners.com to schedule an appointment with an ARC member or if you have any questions or comments regarding the Tetherow Townhouse Design Guidelines.

2.6 AMENDMENT OF THE GUIDELINES

The Declarant shall have the sole and full authority to amend the Guidelines during the Development Period (as defined in the Declaration) unless the Declarant delegates such power to the ARC. Upon termination or delegation of the Declarant's right to amend, the ARC shall have the authority to amend the Guidelines with the consent of the Association Board.

2.7 NON-LIABILITY

Provided that ARC members act in good faith, neither the ARC nor any member will be liable to the Declarant, any Developer, any Owner, or any other person for any damage, loss, or prejudice suffered or claimed on account of actions taken by the ARC or Declarant. These actions include, but are not limited to, the following:

- Approving or disapproving any plans, specifications, and other materials, whether or not they are deemed defective.
- Constructing or performing any work, whether or not pursuant to approved plans, specifications, and other materials.
- The development or manner of development of any land within Tetherow.
- Executing and recording a form of approval or disapproval, whether or not the facts stated therein are correct.
- Performing any other function pursuant to the provisions of the Guidelines.
- Revising the Guidelines from time to time, as deemed necessary by the Declarant or the ARC.

2.8 NON-WAIVER / NO INADVERTENT PRECEDENTS

Consent by the ARC to any matter proposed to it or within its jurisdiction, or failure by the ARC to enforce any violation of the Guidelines, shall not be deemed to constitute a precedent or waiver impairing the ARC's right to withhold approval as to any similar matter thereafter proposed or submitted to it for consent, or to enforce any subsequent or similar violation of these Guidelines. For example, the ARC may disapprove an item shown in the Final Architectural Design Review submittal, though it may have been evident and could have been, but was not, disapproved at the Preliminary Review. An oversight by the ARC of non-compliance at any time during the review process, construction process, or during its Final Inspection does not relieve the Developer or Owner from compliance with these Guidelines and all other applicable codes, ordinances, and laws.

Any error, omission, or misjudgment by the ARC in any one instance shall not constitute the creation of a precedent governing future approvals and decisions. The ARC reserves the right to learn from any such errors or misjudgments and shall not be required to approve repetitions of them.

2.9 ENFORCEMENT AND FINES

As provided by the Declaration, the ARC may at any time inspect a townhouse neighborhood and associated improvements and upon discovering a violation of these Guidelines, provide written notice of noncompliance to the Developer or Owner, which may include a reasonable timeframe to correct the violation. In the event that a Developer, Owner or their agent(s) fails to comply within this timeframe, the ARC and/or its authorized representatives may proceed with enforcement as provided for in the Declaration.

In accordance with Article 12 of the Tetherow CC&R's titled Enforcement, the Tetherow Owners Association Board of Directors has adopted a Resolution for Enforcement of Governing Documents, Exhibit 1-Compliance Process and Schedule and a Board Resolution adopting the polices. Please review these documents as they relate to design and construction at Tetherow. If you have questions about Enforcement and Fines contact the Community Association Manager at toa@tetherow.com

3 OVERVIEW

3.1 SETTING

Tetherow occupies a unique site and provides a transitional zone between Bend, with its urban characteristics and features, and the Deschutes National Forest, with its wild and untamed beauty. Tetherow offers panoramic views of the Cascade Range within a setting of meadows populated by native grasses, shrubs, and scattered pine trees. The development of Tetherow represents an opportunity to embrace this landscape and create a residential Community that is in harmony with its natural surroundings.

Tetherow sets within an ecotone positioned between the Great Basin Desert and the Cascade Mountain Range. An ecotone is a transition zone between two different plant communities, and, in this case, the ecotone is semi-arid and supports ponderosa and lodge pole pines and an understory of drought tolerant shrubs, grasses, and wildflowers. The area's climate is significantly impacted by the Cascades, creating this High Desert environment. The average high temperature in July is 82 degrees and the average low temperature in December is 23 degrees. The average annual precipitation is 11.4 inches and the average annual snowfall is 23 inches. Most precipitation occurs between November and March and summers are characterized by limited rainfall, warm days, and cool nights. It should be noted the area experiences weather events throughout the year that do not fall within the "average" climate statistics. This site, with its many environmental features and varied climate, presents a number of opportunities and constraints that must be addressed by Developers, Owners, designers, and contractors in order to build townhouses that are one with their surroundings.

3.2 DESIGN CONSIDERATIONS

There is no particular architectural style that is required for the Community. However, certain styles are so closely associated with other times and places that their presence would create a distraction within the overall Community design aesthetic and will not be approved. These styles include, but are not limited, to the following:

- Santa Fe Adobe
- Victorian
- Colonial
- Cape Cod
- Southern Plantation
- Experimental, Radical or Ultra Contemporary

Within Tetherow, architectural harmony will be accomplished through the use of a controlled range of complimentary forms, materials, and colors that are appropriate for the climate, reflect the character, and incorporate the resources of Central Oregon. These Guidelines, along with guidance from the ARC, are intended to result in a variety of design solutions for townhouse development while maintaining a harmonious and coherent design aesthetic. General design considerations include:

Site Integration

Each residence and its associated outdoor spaces and proposed landscaping should be fully integrated into its site. Floor plans and building massing should adapt to the existing grades

and site features, including rock formations. Every effort should be made to minimize the disturbance of existing trees and vegetation.

Site Modifications

Unnecessary site modifications to accommodate inappropriate designs will be prohibited. This includes the use of retaining walls on sloping sites to accommodate a residence designed for a level site.

Regional Styles

The character of the residences should take their cue from the established traditions of Oregon and the Northwest. Styles such as Cascadian, Lodge, Ranch, Northwest Contemporary, and Craftsman have strong associations with Central Oregon and these styles are encouraged for use within the Community.

Custom Designs

All residences, including builder specs, must appear to be a custom design that responds to the unique opportunities, constraints, and features of an individual site. In order to address this principle, plan book designs may require modifications to accommodate the unique characteristics of their individual sites.

Continuity of Building Elevations

Attention should be given to the design of all four elevations of a townhouse to ensure there is continuity in the use of architectural elements, materials, fenestration, and colors. Although special consideration may be given to the front and rear elevations, all elevations must appear as if they were assembled with the same kit-of-parts.

Massing

The overall form and massing of a townhouse should create a composition that is interesting, responds to the topography, and maintains an aesthetically pleasing human scale. Building projections and offsets, large eaves, covered porches, and architectural elements such as dormers and chimneys add visual interest, create shadow lines, and effectively reduce the perceived mass of a building and, as a consequence, their use is encouraged. A townhouse design that appears to be overly complex or oversized for its site will not be approved.

Materials

The use of natural building materials such as heavy timber, wood siding, and native stone and rock is strongly encouraged. Roofing materials, which include shake-style concrete tiles, clay tiles, slate, and metal roofing, in muted to dark earth tones are approved for use on roofs. The patterns, color, and texture of exterior materials should be considered when evaluating the overall composition of the townhouse.

Structural Integrity

Townhouses should be designed with an honest expression of the building structure, where structural systems are visibly expressed and appropriately scaled. Building foundations should merge with the topography and appear to carry the weight of the building. This visual connection and support can be enhanced with the use of stone or stucco walls at the building base. Columns, beams, trusses, and rafters also present other opportunities to express the building structure. To be effective, all of these elements must be expressed in a realistic fashion with respect to their scale, proportion, and spacing. In addition, the design must be perceived to be providing a continuous transfer of building loads from the roof to the foundation.

Trim and Details

Fascias, rafters, and other exterior details should be well articulated using multiple layers of boards to create shadows and interest. Unique details that add interest while embracing the overall design of a townhouse are encouraged.

Colors

Deep, muted colors consistent with those found in the Central Oregon landscape should be used on primary walls and roofs. Richer tones of these natural colors may be used as accents colors on such elements as trim, windows, and doors. Accents colors may also be based on the body color with subtle changes in tone, hue and/or intensity.

3.3 GREEN BUILDING

The preservation and protection of the natural environment are core principles guiding Tetherow's development. Residences constructed in Tetherow are encouraged to participate in a reputable green building program such as LEED or the Earth Advantage® New Homes certification program.

The Earth Advantage® New Homes certification program is a third-party certification program for homeowners and builders that helps them create energy efficient, healthy, and resource-wise homes while adding value to the home itself. The Earth Advantage New Homes certification program requires projects to undergo two verification visits during which minimum standards of achievement must be met in five categories; energy efficiency, healthy indoor air quality, resource efficiency, environmental responsibility and water conservation. Depending on the level of achievement earned, a project may qualify for Earth Advantage Silver, Gold, or Platinum Certification.

For more information about the Earth Advantage® New Homes Certification, click this [link](#) or contact your local representative at: Earth Advantage Institute | (503) 968-7160 or click [Earth Advantage](#) for Central Oregon Contact Information

3.4 STANDARDS AND REGULATIONS

The ARC exists for the purpose of maintaining high standards for design and construction within the Community. The ARC's review of submittals and subsequent rulings may supersede the quality of construction and architectural standards of Deschutes County and, where applicable, the construction and architectural standards of the City of Bend and other authorities having jurisdiction over the proposed construction. In no case shall the ARC's rulings be construed as

permission to violate any code, law, or regulation of Deschutes County or any other governmental authority.

Deschutes County has adopted the 2017 Oregon Residential Specialty Code (ORSC). The County requires that a building permit be obtained prior to beginning construction of any improvement or making additions or renovations to an existing structure. Applications submitted with the intent to circumvent Deschutes County code restrictions or the Guidelines will not be approved. Please verify all Deschutes County regulations with the Deschutes County Building and Planning Departments.

Given Tetherow is located adjacent to the National Forest, special consideration for the protection of the Community from wildland fire hazards is required and will be implemented in the form of certain design and maintenance standards. Ongoing compliance with the maintenance requirements will be an obligation for each Owner and will be enforced by the Tetherow Owners Association (Association) and/or any applicable governmental authority.

Tetherow enjoys a beautiful night sky and efforts are being made to ensure the night sky is protected from light pollution. Night lighting can create a safe and secure environment, extend the times of use of facilities and amenities, and highlight specific built and natural features. However, excessive lighting can be harmful to wildlife and humans, is not a proven deterrent to crime, wastes energy and money, and robs us of our ability to experience the night sky and the wonders of the stars. In order to protect the night sky, all outdoor lighting must be Dark Sky Friendly and meet guidelines established by the International Dark-Sky Association. Further information on Dark Sky Friendly fixtures and guidelines can be found at: <http://darksky.org/>.

4 DESIGN DEFINITIONS AND CONSIDERATIONS

The Townhouse Design Guidelines provide guidance with respect to site design, architectural design, landscape design, submittal process, submittal requirements, submittal fees and deposits, and construction rules for townhouse neighborhoods and the townhouses within the neighborhoods.

4.1 DEFINITIONS

The following are definitions unique to townhouse development within Tetherow:

Townhouse Neighborhood – A housing development built by a single Developer featuring multi-Unit townhouses and/or freestanding single Unit townhouses, all designed and built with an architectural style and palette of materials and colors that is unique to the project. A townhouse neighborhood may also share common facilities and amenities.

Townhouse – A single structure, located within a townhouse neighborhood, containing one, two, or three private residential Units.

Unit – A single, private residence located within a townhouse. A Unit and its associated private outdoor spaces occupy an individual lot, whether the Unit is freestanding or attached.

Townhouse Design Type – A unique townhouse façade design and configuration. Unique townhouse design types can be created by varying the Unit configurations and the composition of materials, colors, architectural features, and massing. Within the prescribed palette for the neighborhood, varying materials and colors may be used to create design variety, but changes in materials and colors alone will not be enough of a variation to qualify as a unique Design Type. Mirrored plans are not considered unique Design Types. With the exception of the effect they have on massing, floor plans are not considered a characteristic of a Design Type.

4.2 TOWNHOUSE NEIGHBORHOOD DESIGN CONSIDERATIONS

The following are guidelines for the development of townhouse neighborhoods:

- Each townhouse neighborhood shall be designed to provide visual harmony and compatibility with the Community as a whole.
- The site, architectural, and landscape design for a townhouse neighborhood shall be compatible with development on adjacent properties and must reflect the character and design themes established for the Community.
- The site, architectural, and landscaping design within a townhouse neighborhood shall express a consistent style and character utilizing a refined palette of architectural elements, site improvements, materials, and colors.
- A townhouse neighborhood may include both single Unit townhouses and multi-Unit townhouses.
- Units within a townhouse shall be located on their own individual lot. A townhouse consisting of a single Unit shall also be located on its own lot.
- Any proposed lot line adjustments for a townhouse lot require ARC review and approval prior to recording.

5 SITE DESIGN GUIDELINES

The Site Design Guidelines apply to the siting of structures and associated outdoor spaces, walkways, driveways, and landscape. One of Tetherow's guiding principles is the integration of all improvements into the existing site. Townhouse floor plans and building massing should adapt, to the extent practicable, to the existing grades and site features including rock formations and trees. Outdoor spaces and landscape improvements should reinforce the connection between structures and the terrain. Every effort should be made to ensure improvements appear to rise from the site, as opposed to simply sitting on the site. In addition to reading and implementing these Guidelines, Developers, Owners, designers, and contractors should read the CC&Rs carefully for other key provisions that may influence site design such as those concerning permitted structures, accessory structures, vehicle access, parking, the keeping of pets, storage, and the management of trash and rubbish.

5.1 BUILDABLE AREA

The Buildable Area is determined by the applicable setbacks and easements associated with each lot as defined below. In general, structures and associated elements such as footings, fireplace projections, chimneys, window bays, covered porches, covered patios, covered terraces, covered decks, service yards, dog runs, and mechanical equipment enclosures must be located within the Buildable Area of their respective lot. In addition, the ARC reserves the right to place further restrictions on the placement of structures within the Buildable Area. These restrictions, if imposed, will be based on such considerations as the location of structures on adjacent sites, on-site and off-site views, and existing site features such as topography, trees, and rock outcroppings.

No part of the structure, which includes associated elements such as footings, fireplace projections, chimneys, window bays, porches, patios, terraces, decks, service yards, dog runs, and mechanical equipment enclosures, is permitted to encroach into any golf course setback or easement.

It should be noted, some improvements meeting specific requirements may be built outside the Buildable Area including patios, terraces, rockery walls, and low retaining walls. These improvements are governed, in part, by restrictions contained within Section 5.2.

5.2 SETBACKS

All setbacks are measured perpendicular from the property lines of the applicable lot. These setbacks define the Buildable Area of the lot, creating a buffer between the Buildable Area and the property line. As noted above, structures and associated elements, such as footings, fireplace projections, chimneys, window bays, covered porches, covered patios, covered terraces and covered decks, service yards, dog runs, and mechanical equipment enclosures, must be located within the Buildable Area of their respective site. Also noted above, patios, terraces, low rockery walls, and low retaining walls meeting specific requirements may be built outside the Buildable Area. Prior to starting any townhouse development, the Developer should contact the ARC to discuss setback requirements. The following are setback requirements of all improvements on a lot within a townhouse neighborhood:

Setbacks

Street: 10-foot minimum setback from each street frontage property line.

Side: Side minimum setbacks are one of the following:

- Zero lot lines setbacks are permitted at the demising wall between Units forming a multi-Unit townhouse.
- 5-foot minimum setback to a property line as measured to the building foundation.
- 8-foot minimum setback between adjacent townhouses, as measured to the farthest projecting architectural element of each townhouse, which would include such elements as roof overhangs, eaves, chimneys, or bays.

Rear: Rear minimum setbacks are one of the following:

- 10-foot minimum setback from each rear property line for non-golf course frontage lots.
- Zero setback from each rear property line adjacent to an internal Common Area.

Golf Boundaries: 10-foot minimum setback from any property line sharing a common boundary with the golf course or any other Golf Club Property. (Note - Golf course easements may further restrict development on golf frontage lots.)

Other Setbacks: The following setbacks apply to improvements outside the Buildable Area.

- Patios and terraces with surfaces that are 30 inches or less above existing grade may extend to front and rear property lines except for any property line sharing a common boundary with the golf course or any other Golf Club Property, which must meet the setback standards under Golf Boundaries.
- A retaining wall or rockery wall may be constructed on the property line between adjacent townhouses.

5.3 LOT COVERAGE

The area of the lot covered by buildings, roof overhangs, patios, terraces, decks, driveways, auto courts, service yards, dog runs, mechanical equipment enclosures, and walkways shall not exceed 65% of the total lot area or as allowed by the County approved Final Master Plan, whichever is less. Enclosed areas, such as dog runs, service yards, and mechanical equipment enclosures, are considered part of the lot coverage, regardless of the material used as the floor of the enclosure. The entire area included within courtyards enclosed with walls 5 feet tall or higher shall be included in the lot coverage calculation. Narrow landscape paths constructed of porous materials are not required to be included in the lot coverage area. Site Plans submitted with all applications shall provide a Lot Coverage Summary that includes the following:

- Total area of the roof defined by the eave line.
- Total area of hardscape that extends beyond the roof eaves. This includes patios, terraces, decks, driveways, auto courts and walkways.
- Total area of the service yard.
- Total area within courtyards not already included in the three items above.
- Total area of the four items above.
- Total lot area.
- Percentage of lot coverage.

5.4 SITE SURVEY

Required survey prepared by a licensed surveyor. A site survey, which includes the parcel boundary, lot boundaries, 1-foot contour intervals, all significant trees, and all natural rock outcropping, will be required to be submitted with all review applications. Existing topography and finished grades must be represented on each Site Plan, each Exterior Elevation, and each Landscape Plan submitted to the ARC.

A significant tree is defined as a deciduous tree measuring 6 inches DBH (Diameter at Breast Height) or greater or a coniferous tree measuring 10 inches DBH or greater. DBH is measured at 4 feet above existing grade.

5.5 SITE STAKING

Prior to the commencement of construction of the building foundation the site must be staked by a licensed surveyor. This staking shall include the parcel boundary, all applicable lot boundaries, boundaries of the Buildable Areas, and the corners of the foundations of the townhouses, decks, patios, terraces, and any other site improvements required to be built within the Buildable Area. Before any grading, excavation, or related foundation work can begin the site staking must be reviewed by the ARC and a written approval must be issued.

5.6 CONSTRUCTION AREA PLAN

The area within a townhouse neighborhood impacted by construction activity, defined as the Construction Area, shall be limited to the immediate area around required grading, excavation and related site improvements with reasonable allowances made for the practicality of construction, safety requirements, and material storage. With the exception of approved road and utility access, no construction activity will be allowed outside the boundaries of the townhouse neighborhood and if the project is developed in phases, then the Construction Area shall be confined to the boundaries of that particular phase. Every effort must be made to limit impacts within individual lot setbacks and other areas of the site that are to be retained as natural areas.

The Construction Area must be shown on the Site Plan submitted with the Preliminary Master Plan Design Review submittal. If the townhouse neighborhood is developed in phases, then a Construction Area needs to be defined for each phase of development. The ARC may, at its own discretion, require a reduction in size of the Construction Area in order to lessen impacts to existing vegetation, trees, and site features. A Construction Area Plan must be submitted with the Final Master Plan Design Review submittal. Again, if the townhouse neighborhood is developed in phases, then a Construction Area needs to be defined for each phase of development. A Construction Area Plan must also be submitted with the Final Townhouse Design Review

submittal and any Additions and Alterations Design Review submittals and Landscape Alterations Design Review submittals. All requirements for the Construction Area Plan can be found in the Section 11.2.

Prior to commencing any clearing, grubbing, grading, excavation, or other construction related activities with a townhouse neighborhood, a Construction Area fence shall be established on the site. All requirements for the Construction Area fencing can be found in Section 11.2 of these Guidelines.

5.7 TREE PROTECTION

Before any clearing, grubbing, grading, excavation, or other construction related activities commence within a townhouse neighborhood, a Tree Protection Zone shall be established around all significant trees that are to remain on the site as established by the Site Plan from the approved ARC Final Master Plan Design Review. The Tree Protection Zone shall consist of a fence, 4 feet in height, established at the drip line, which is defined as the outer edge of the leaf canopy formed by a single tree or group of trees. The fence must be a continuous barrier of woven material, 1 ½ inches x 1 ½ inches, with posts spaced to prevent sagging or encroachment on the Tree Protection Zone. No gates or means of access will be allowed in the fence. The Tree Protection Zone fencing shall remain in place until all site and building improvements have been completed. (See Exhibit-G for a tree protection fence detail.)

Any activities that would cause compaction or contamination of soil within the Tree Protection Zone must be avoided. No parking, material storage, equipment storage, or construction traffic will be permitted within the Tree Protection Zone. To avoid damage to the tree root systems from accidental spills, all liquids and powders must be stored at least 40 feet from any tree that is to remain on the site.

Trees marked for removal within view corridors must remain on the site until a comprehensive analysis can be undertaken of the impacts and opportunities associated with the tree removal. To that end, the ARC will conduct an on-site visit once the affected townhouses have been framed to assess the tree removal request and determine which trees, if any, will be removed. Unauthorized tree removal will result in the immediate forfeiture of the Compliance Deposit and suspension of all construction activity on the property. At such time as a Remediation Plan has been reviewed and approved by the ARC and a new Compliance Deposit has been received construction activity will be allowed to resume. In addition to the loss of the Compliance Deposit, fines may be assessed for this unauthorized tree removal and tree replacements may be required as part of the Remediation Plan.

5.8 TREE REMOVAL AND TOPPING

The Developer shall identify all significant trees that are to be removed and those that are to remain within the townhouse neighborhood on all required Site Plans. All significant trees that are to remain within the neighborhood must also be shown on all required Landscape Plans. A significant tree is defined as a deciduous tree measuring 6 inches DBH (Diameter at Breast Height) or greater or a coniferous tree measuring 10 inches DBH or greater. DBH is measured at 4 feet above existing grade. Significant trees must be maintained in good health and must be protected from physical damage and disease.

Certain trees on some townhouse neighborhood sites are of such significance they demand to be retained. During the Pre-Design Meeting these Heritage Trees will be identified by the ARC and their location must be identified on all required Site Plans and Landscape Plans. Every effort must be made to accommodate these Heritage Trees into the design of the townhouse neighborhood. Designs reflecting little or no response to the preservation of a Heritage Tree will not be approved.

The removal of any tree at any time, either by the Developer, an Owner, or their agents, requires ARC review and written approval. Unauthorized tree removal will result in a fine and remediation may be required. Unauthorized significant tree removal during the construction of improvements will result in immediate forfeiture of the Compliance Deposit and suspension of all construction activity on the property until a Remediation Plan, which may include tree replacement, has been reviewed and approved by the ARC and a new Compliance Deposit has been received by the ARC. In addition, fines may be assessed for any unauthorized tree removal.

Tree topping is prohibited in the Community. If a Developer, Owner, or their agents violates this prohibition, the Developer or Owner, at their own expense, will be required to completely remove and replace the topped tree with a tree or trees, as required by the ARC. The ARC, at their own discretion, will determine the location, number, size, and type of trees required for the replacement, as well as the timeframe within which the replacement will occur.

5.9 CLEARING AND GRUBBING

No clearing or grubbing is allowed outside the designated Construction Area or within any Tree Protection Zone. The Final Master Plan Design Review submittal and Final Townhouse Design Review submittal must be reviewed and approved by the ARC prior to commencing with any clearing or grubbing, and if the project is to be developed in phases, clearing and grubbing shall be confined to the Construction Area established for that particular phase.

Unauthorized clearing and grubbing will result in a fine and remediation may be required. Unauthorized clearing and grubbing during the construction of improvements will result in immediate forfeiture of the Compliance Deposit and suspension of all construction activity on the property until a Remediation Plan, which may include replacement of plant materials, has been reviewed and approved by the ARC and a new Compliance Deposit has been received by the ARC. In addition to the loss of the Compliance Deposit, fines may also be assessed for unauthorized clearing and grubbing.

5.10 GRADING AND EXCAVATION

It is anticipated townhouse neighborhoods may require more extensive grading than development on single family lots, given the density of development and the need to accommodate a variety of improvements within a relatively small space. Nevertheless, each townhouse neighborhood and associated townhouses shall be developed with minimal modification of the existing topography, site features, trees, and vegetation, to the extent practicable. Townhouses should be designed to fit their sloping sites rather than the site made to fit an inappropriate design. Sloping sites should utilize designs that take up the grade changes within the townhouse's footprint and accommodate site features, such as rock outcroppings and trees. Topographic transitions between improvements and lot setbacks must appear natural. Grading near or within the lot setbacks may not result in abrupt transitions to adjacent lots, the golf course, Common Areas, or roadways.

To the extent practicable, all grading and excavation shall be contained within the Buildable Area of the lot. If a townhouse neighborhood is developed in phases, then grading shall be confined to the Construction Area of the respective phase, and future phases shall be left in their natural state. In no case will any grading or excavation be allowed outside the property boundaries of the townhouse neighborhood except to accommodate ARC approved access for roadways and utilities. If appropriate and approved for use by the ARC, retaining walls and rockery walls may be used to soften the transition of steeper grades. Developers should review the guidelines related to rockery walls and retaining walls contained within the Guidelines.

All proposed grading and excavation must be submitted to the ARC for review and approval. It is imperative the grading and excavation has been approved by the ARC prior to submitting any plans to the County for Final Plat approval in order to avoid project delays and Developer expenses associated with a possible resubmittal of the Final Plat. If the site is developed in phases, then an ARC review and approval for grading and excavation will be required for each phase of development. Tree Protection Zone fencing, Construction Area fencing, and erosion control devices shall be installed, as described in the ARC approved Final Architectural Design Review, prior to commencing any clearing, grubbing, grading, or excavation. In addition, the Developer shall notify Tetherow Golf of their intent to excavate to allow Tetherow Golf the opportunity to harvest native plant materials from areas that will be disturbed.

All surplus excavation spoils must be removed from the site. All areas disturbed during construction must be restored to its preexisting condition or remediated in accordance with an ARC approved Final Master Plan Design Review Landscape Plan and Final Townhouse Design Review Landscape Plan. All slopes must be vegetated with a mix of container stock and hydroseed planting to control erosion. Sparsely planting slopes will not be approved by the ARC at the Final Inspection. Developers and Owners are encouraged to seek professional assistance when determining proper erosion control measures. In order to achieve an undisturbed appearance, natural area restoration should include the replanting of native grasses and other approved native plant materials and the redistributing of mulch and/or duff to cover all exposed raw earth. Proposed landscaping must be designed to visually soften or disguise areas with excessive slope such as fill slopes for roadways, driveways, and around the foundations of townhouses.

Developers and Owners are encouraged to engage a licensed engineer for improvements on steep sites, sites with complex slopes, and sites with soils that present construction challenges. These conditions may affect the building design and construction and could impact surface or subsurface drainage.

5.11 DRAINAGE

Provisions for the disbursement of all townhouse neighborhood drainage, including drainage from yards, landscaped areas, common spaces, and all impervious surfaces such as roofs, walkways, driveways, patios, terraces, and internal roadways are the Developer's responsibility. All site drainage must be retained and disposed of within the neighborhood boundaries unless other accommodations have been reached with adjacent property Owners, applicable government agencies, and the ARC. If deemed appropriate and approved by the ARC, townhouse neighborhoods may utilize a neighborhood stormwater drainage system for some or all of the lots within the townhouse neighborhood. Developers are encouraged to consult with professionals regarding drainage risk factors and specific solutions.

A Drainage Plan depicting proposed grading, proposed retaining or rockery walls, drainage patterns, and stormwater retention and disposal facilities shall be provided with the Preliminary Master Plan Design Review. A Drainage Plan depicting proposed grading, proposed retaining and rockery walls, drainage patterns, and stormwater retention and disposal facilities shall be provided with the Final Master Plan Design Review. In addition, a document outlining all stormwater assumptions and calculations shall be submitted with this review. It is imperative the Drainage Plan has been approved by the ARC prior to submitting any plans to the County for Final Plat approval in order to avoid project delays and Developer expenses associated with a possible resubmittal of the County's Final Plat. A Drainage Plan must also be submitted with the Final Townhouse Design Review submittal and any Additions and Alterations Design Review submittals and Landscape Alterations Design Review submittals.

Some townhouse neighborhood sites are subject to additional drainage impacts from sources such as the golf course, Common Areas, and roadways during conditions that exceed the designed capacity for those areas or facilities. For those townhouse neighborhood sites, Developers are encouraged to consider a free-draining foundation system around the perimeter of the foundation of affected townhouses or other drainage systems as recommended by a qualified engineer or construction professional.

Drainage swales or other drainage features within the townhouse neighborhood shall be designed and constructed, to the extent practical, so as to blend with the landscape features of the neighborhood. Drainage structures shall be designed to appear natural and seamlessly fit into the surrounding landscape. Rock-lined drainage structures are generally not permitted, all drainage structures must be vegetated. The installation of road and driveway culverts and drainage swales along street frontages may help to channel and disperse runoff from larger storms. These measures should be considered and may be required by the ARC.

5.12 SOIL CONDITIONS

It is recommended the Developer or Owner seeks the assistance of a licensed soils engineer to examine and test soil conditions prior to undertaking any design or construction of foundations. The Declarant and ARC make no representations or warranties, expressed or implied, as to the soil conditions.

- The Developer or Owner and their architect, engineer, and contractor are to give due consideration to the design of the foundation systems of all structures.
- It is the Developer's or Owner's responsibility to conduct an independent soils engineering investigation to determine the suitability and feasibility of any site for construction of the intended improvement.

5.13 ROCKERY WALLS

Rockery walls are defined as a loose arrangement of rough rocks or boulders forming an organic retaining structure or screen that can create naturally looking terraces to soften the appearance and transition of steeper grades. Plants can be placed within the interstices created by the loose arrangement of the rocks, further softening the appearance of the wall. Rockery walls can also be used to screen site improvements such as patios, terraces, and spas. All rockery walls must be reviewed and approved by the ARC before construction can commence. The following are guidelines for the construction of rockery walls:

- Rockery walls may be constructed of rocks or boulders from the region and care should be taken to ensure mechanical scars on the rocks are hidden.
- To the greatest extent practicable, rockery walls should resemble natural rock outcroppings by arranging large boulders in groups and burying them deep into the soil. Loose arrangements of single boulders will not be approved at final inspection.
- Rockery walls shall be arranged so no single wall is more than 3 feet tall and walls used in combination cannot exceed 8 feet in height. When walls are used in combination they must be separated by a terrace equal in width to the taller of the wall above or the wall below the terrace.
- Rockery walls cannot define the front, side, or rear property lines or setback lines of a lot.
- Rocks and boulders shall be buried in the ground so that no more than two thirds of an individual rock or boulder is exposed.
- Pockets shall be provided within the rockery wall to accommodate plant materials.
- Terraced rockery walls shall be heavily vegetated to soften the appearance of the wall. The ARC will review each wall individually and may require larger container stock planting to be installed.

5.14 SITE RETAINING WALLS

The height of site retaining walls shall be minimized, to the extent practicable, and blend into the natural topography. Retaining walls cannot define the front, side, or rear property lines of a lot. The overall height of site retaining walls will be reviewed on a case-by-case basis. The following are guidelines for the construction of retaining walls:

- Retaining walls shall be arranged so no single wall is more than 3 feet tall and walls used in combination cannot exceed 8 feet in height. When walls are used in combination they must be separated by a terrace equal in width to the taller of the wall above or the wall below the terrace.
- Retaining walls cannot define the front, side, or rear property lines or setback lines of a lot.

Approved exposed materials for site retaining walls are limited to the following:

- Natural wood sidings treated with semi-transparent or solid body stains or paints.
- Natural wood timbers or logs and pressure treated wood timbers. Railroad ties are not allowed.
- Stone or rock indigenous to the area, preferably medium to dark in color.
- Patterned architectural concrete, commonly referred to as heavy board-formed concrete, will be reviewed and may be approved by the ARC on a case-by-case basis. To be considered, the entire exposed surface of the concrete must have a board-formed texture. The patterned architectural concrete may be integrally colored with a medium to dark tone to complement the exterior of the townhouse. Concrete walls with form ties, expansion joints, or control joints are not considered to be patterned architectural concrete and are not acceptable.
- Some cultured stone veneer may be acceptable, but it will be reviewed and approved by the ARC on a case-by-case basis.
- Stucco, synthetic stucco, acrylic plaster and similar products when used in conjunction with other approved siding materials.

- Brick veneers may be acceptable, but they will be reviewed on a case-by-case basis by the ARC.

5.15 DRIVEWAYS

Driveways shall meet the following guidelines:

- Driveway cuts connecting to townhouse neighborhood roadways will be limited to one per individual Unit. No driveway cuts connecting directly to Community roadways will be allowed.
- Driveways shall have a minimum width of 12 feet and a maximum width of 21 feet as measured where the driveway crosses the front property line unless otherwise approved by the ARC.
- In order to soften their appearance, driveways of adjoining Units must be separated by a landscaped strip at least 3 feet wide or, when appropriate, retaining or rockery walls.
- Driveway aprons must be designed with a width appropriate for the width of the garage, but in all cases the width of the hard-wearing surface must be at least 10 feet wide.
- For ease of use and maintenance, driveways should not exceed an 8% slope.
- A vertical clearance of 15 feet must be maintained at all times above driveways to allow access of emergency response vehicles.
- The amount of paved areas exposed to view from adjacent Community properties and roadways shall be kept to a minimum.
- The driveway and apron may consist of a combination of asphalt, concrete, concrete pavers, stone, or other materials approved by the ARC.
- The colors of these materials should be light to medium earth tones that blend into the surrounding landscape.

5.16 PARKING

Within the townhouse neighborhood, guest parking must be provided at the rate of 1.5 spaces per Unit. This guest parking is in addition to the parking provided in the garages of each Unit. The guested parking requirement can be met by spaces provided within the Common Areas of the site and/or on driveway aprons, so long as this parking has received ARC approval and meets the requirements contained within the County's Final Plat. For ease of use and maintenance, parking spaces should not exceed a 5% slope.

5.17 ACCESSORY BUILDINGS

Structures for neighborhood use, such as a small clubhouse, pool house, or a maintenance shed, would be considered an accessory building. Structures on individual lots, such as dog houses, tool sheds, and storage sheds, are also considered to be accessory buildings. All accessory buildings require ARC review and approval prior to construction or installation. Whether built at the same time as the townhouses or after, accessory buildings must be subordinate in scale and consistent with the architectural vocabulary of the townhouse neighborhood. Views and other related impacts to adjacent properties must be considered when placing accessory buildings.

5.18 VIEW CORRIDORS

When designing townhouse neighborhoods, view corridors from adjacent sites shall be considered and accommodated to the greatest extent practicable. At the ARC's discretion, the site plan

and/or building designs may need to be modified to accommodate view corridors. View corridors within the neighborhood will be maintained at the Developer's discretion.

5.19 FENCING

Tetherow promotes the feeling of open spaces and, as a consequence, fences are discouraged within the Community. In some cases fencing may be required to enclose a neighborhood trash facility, a neighborhood pool, air conditioning condensers, or as screening between townhouses. All fencing proposals will be evaluated on a case-by-case basis and require review and written approval from the ARC prior to construction. To be considered, fences must meet the following guidelines:

- A fence is defined as a barrier or upright structure that provides enclosure and separates one space from another.
- Wherever possible, privacy and equipment screening should be achieved using landscaping instead of fences.
- Fences will be limited to 4 feet in height measured from ground level in the immediate area, must be connected to the house structure, and must be designed and built to follow the final grade of the terrain.
- Fences with level top edges that are located on sloping grades must be stepped and not exceed 4 feet in height.
- The ARC will review each fence to determine if the fence should be designed and built to follow the final grade of the terrain or follow a specific datum established by associated structures.
- All fencing must be setback at least 5 feet from the front of the townhouse as measured to the front corner of the townhouse closest to the fence connection with the townhouse.
- Fences are allowed at the rear property line of a townhouse only when the lot or lots back onto another lot or lots within the townhouse neighborhood.
- Fencing may be allowed on the property line between adjacent townhouses, but this fencing will be reviewed on a case-by-case basis by the ARC.
- Fencing is prohibited at property lines adjacent to the golf course, and other fencing visible from the golf course shall be reviewed on a case-by-case basis by the ARC.
- With the exception of fencing located between townhouses, a long, straight run of fencing over 20 feet in length is not permitted.
- No tree, no matter its location, shall be used for the attachment or support of any fence or privacy screen.
- Fencing around common facilities, such as a clubhouse, pool, or trash enclosure will be evaluated on a case-by-case basis, taking into consideration such factors as location, exposure to public view, and natural screening in the immediate vicinity of the facilities.
- Fencing may be constructed with a base structure of stone, rock, stucco, or board formed concrete as long as this portion of the fence is no taller than 24 inches. All applications for this type of fencing shall be reviewed by the ARC on a case-by-case basis.
- All fencing shall be faced with materials and finished to be compatible with the townhouses.
- The use of ARC approved noncombustible materials is encouraged, in keeping with the wildland fire protection standards, and will be required for fences and gates located within 5 feet of structures.

- The use of monofilament line, netting, or electric fences for the protection of any individual planting beds, select areas of the site, or along property boundaries is prohibited. Inconspicuous fencing may be permitted around individual plants or shrubs until their size ensures they are less vulnerable to wildlife related damage. Such fencing must be reviewed and approved by the ARC before installation can commence.

5.20 SERVICE YARDS

Given the small yards associated with townhouse neighborhoods, the CC&Rs for townhouse neighborhoods shall prohibit such items as garbage containers, recycling containers, compost containers, trash containers, landscape debris containers, bicycles, and outdoor maintenance equipment being stored outside of individual Units. A townhouse neighborhood may have a common trash and recycling facility, which shall be designed and constructed to be compatible with the character of the townhouses. If the townhouse neighborhood does not provide a common trash and recycling facility, the CC&Rs shall stipulate garbage and recycling bins from individual Units shall be left at the curb no longer than 48 hours.

5.21 PRIVACY SCREENS

A privacy screen is defined as a barrier or upright structure that screens specific components of a townhouse or Unit from adjacent Units, homesites, and roadways. All privacy screen proposals will be evaluated on a case-by-case basis and require review and written approval from the ARC prior to construction. During the evaluation, the ARC will consider the height, length, location, and materials of each privacy screen and may, at their own discretion, deny the proposed screening.

5.22 ANIMAL RUNS AND ANIMAL RESTRAINT AREAS

All animal runs, dog houses, and animal restraint areas must be reviewed and receive ARC approval prior to construction or installation. Fencing around animal runs cannot exceed 4 feet in height and 200 square feet in area. These areas shall be situated on a lot so as to be completely concealed or screened from view from neighboring Units, adjacent lots, the golf course, Common Areas, and roadways. The use of underground (“invisible”) electric fencing is encouraged for use in creating animal restraint areas.

5.23 WATER FEATURES

All water features require ARC review and approval prior to commencing construction or installation. The ARC will review each water feature on a case-by-case basis and, at their sole discretion, may reject any water feature that is deemed to be inappropriate. In making a determination, the ARC will consider the following guidelines:

- The water feature, whether built with natural materials or in a contemporary approach, shall be integrated into the site’s topography, and existing and proposed rock outcroppings and landscaping.
- The water feature should appear as a minor element within the landscape. It should not dominate or distract from the overall landscape or the townhouses.
- The water feature should be located and oriented to benefit views from within the townhouse neighborhood and from adjacent decks, patios, and terraces.
- Mechanical equipment serving the water feature must be placed in an enclosure, accessory building, or underground vault contained within the Building Area of lot being served or,

if a common element, the Buildable Area of the site. Noise absorbing covers for the equipment should be considered, and may be required after installation if it is discovered the equipment is audible from adjacent properties.

- A water feature must be contained completely within the boundaries of the lot it serves or, if a common element, within the boundaries of the townhouse neighborhood.

5.24 NEIGHBORHOOD SPAS, HOT TUBS, PLUNGE POOLS AND POOLS

All spas, hot tubs, plunge pools, and pools associated with a neighborhood amenity shall be reviewed on a case-by-case basis and must have written approval from the ARC prior to construction or installation. Spas, hot tubs, plunge pools and pools will be evaluated, in part, on their associated impacts and visibility from adjacent lots, the golf course, Common Areas, and roadways. In making a determination the ARC will consider the following guidelines:

- All spas, hot tubs, plunge pools, and pools must be built completely within the Buildable Area of the neighborhood parcel.
- To the extent practicable, spas, hot tubs, plunge pools, and pools should be integrated into the site to accommodate the existing topography and existing and proposed rock outcroppings and landscaping.
- Spas, hot tubs, plunge pools, and pools shall be set into the ground or flush with a terrace or deck in order to maintain a low profile and improve the ability to screen the features from adjacent lots, the golf course, Common Areas, and roadways.
- These facilities should always be screened and, whenever practicable, they should be screened with appropriate levels of landscaping and built screening. At their own discretion, the ARC will consider the placement of privacy screens in lieu of landscape screening.
- Covers for spas, hot tubs, plunge pools, and pools must be dark and muted in color.

5.25 SPAS AND HOT TUBS

All spas and hot tubs associated with an individual Unit shall be reviewed on a case-by-case basis and must have written approval from the ARC prior to construction or installation. Spas and hot tubs will be evaluated, in part, on their associated impacts and visibility from neighboring Units, adjacent lots, the golf course, Common Areas, and roadways. In making a determination the ARC will consider the following guidelines:

- A spa and hot tub must be built completely within the Buildable Area of the applicable lot.
- To the extent practicable, a spa and hot tub should be integrated into the site to accommodate the existing topography and existing and proposed rock outcroppings and landscaping.
- These facilities should always be screened with built structures that screen the entire hot tub from neighbors, streets, common areas and golf course. Where appropriate, screens shall be buffered with substantial landscaping. At their own discretion, the ARC will consider the placement of privacy screens in lieu of landscape screening.
- Covers for spas and hot tubs must be dark and muted in color.

5.26 OUTDOOR FIREPLACES AND FIRE PITS

The following are guidelines governing outdoor fireplaces and fire pits:

- All outdoor fireplaces and fire pits must be fueled by natural gas.
- No wood burning outdoor fireplaces or fire pits will be allowed.
- A 15-foot minimum clearance must be maintained between the chimney of an outdoor fireplace or the perimeter of an outdoor fire pit and any overhanging tree branches.

5.27 SITE LIGHTING

All site lighting, including lighting for decks, terraces, patios, spas, hot tubs, plunge pools, pools, water features, roadways, driveways, walkways, and landscape, must be submitted to the ARC for review and approval. Submittals must include manufacturer's catalog cut-sheets indicating all features of the proposed fixtures, including size, finish, materials, wattage, and lamp type. Information that is specific to the fixtures should be highlighted on the cut-sheet.

The location of all Common Area site lighting fixtures must be shown on the Site Lighting Plan accompanying the Final Master Plan Design Review submittal. Site lighting fixtures located on individual lots must be shown on the Site Lighting Plan accompanying the Final Townhouse Design Review submittal. Both plans must indicate fixture location, fixture types, the total number of each fixture, and wattage of each fixture. If at any time renovations or additions are proposed for the site lighting, a Site Lighting Plan must be submitted to the ARC for review and approval prior to installation. This submittal must contain all of the information detailed above. All site lighting fixtures installed without ARC review and written approval may be subject to removal or replacement.

The following are guidelines intended to eliminate glare from exterior light fixtures, reduce exterior lighting impacts on neighboring homesites and roadways, and be Dark Sky Friendly:

- Site lighting shall be used sparingly and will be reviewed and approved at the ARC's discretion. Dark Sky Friendly approved fixtures are strongly encouraged.
- Path and driveway lights should be located no closer together than 20 feet on center.
- Landscape accent lighting should be limited to courtyards, the front entry, and key landscape features in the rear yard.
- Landscape accent lighting in the side yard of the lot will be reviewed on a case-by-case basis.
- All path and driveway lighting must have downward directed lighting and light sources that are shielded with an opaque material. No part of the lamp may be exposed through the use of translucent, transparent, or perforated opaque material.
- Landscape accent lighting may be used sparingly to highlight specimen trees, water features, or sculptures, but the light sources must not be visible from neighboring properties or roadways.
- With the exception of holiday lighting, colored lamps are prohibited for use within all site lighting fixtures.

Holiday lighting is allowed between the Saturday before Thanksgiving and the second weekend in January. All holiday lighting must be turned off by 11 p.m. daily and must be completely removed by January 31.

5.28 OUTDOOR FURNITURE AND DECORATIONS

The location of permanently placed outdoor furniture, picnic tables, barbecues, arbors, sculptures, artistic installations, and other decorative items must be reviewed and approved by the ARC prior to installation.

All permanently placed outdoor furniture, picnic tables, barbecues, and arbors must be located within the Buildable Area of the individual lot or, if they are common elements, within the Buildable Area of the townhouse neighborhood. With written approval from the ARC, sculptures, artistic installations, and other decorative items may be allowed to be placed within the property setbacks of a lot, but no closer than 5 feet from any property line. No outdoor furniture, picnic tables, barbecues, arbors, sculptures, artistic installations, or decorative items, whether permanently placed or temporary, shall be permitted within any golf course easement or golf course setback.

All outdoor furniture, picnic tables, barbecues, arbors, sculptures, artistic installations, and other decorative items shall be maintained in good repair. Outdoor radiant gas/LP heater caps shall be painted with a dark, non-reflective color as approved by the ARC.

Flagpoles require ARC review and written approval prior to installation, but it should be noted the displaying of flags is only allowed on patriotic holidays. Flagpoles are not permitted along the golf course. If approved, a temporary flag pole may be placed within permanently installed brackets attached to a structure or a pole may be placed within sleeves located in the ground.

5.29 OUTDOOR PLAY EQUIPMENT

Permanently placed outdoor play equipment and sports courts of any kind, such as swing sets, basketball backboards, trampolines, basketball courts, tennis courts, and general sports courts, must be reviewed and approved by the ARC prior to installation. Equipment and any associated courts must be painted or stained to blend with the natural surroundings and all equipment and courts must be maintained in good repair. To the greatest degree practicable, play equipment and sports courts must be screened from the view of other Units, homesites, the golf course, Common Areas, and roadways. Yards of Units that are exceptionally exposed may require extensive landscaping to provide adequate screening for play equipment and/or sports court. In making a determination on play equipment and sports courts, the ARC will consider the following guidelines:

- No large, brightly colored, plastic play equipment will be permitted to be left in permanent view within the Common Areas of the townhouse neighborhood or on any individual lot.
- No skateboard ramps will be permitted.
- No brightly colored basketball backboards will be permitted. Nets must be a solid, neutral color and must be kept in good repair. No permanent or moveable basketball backboards are permitted on streets or cul-de-sacs.

5.30 MAILBOXES AND NEWSPAPER RECEPTACLES

Individual mailboxes and newspaper receptacles are prohibited. Group mailboxes shall be provided at a convenient location within the townhouse neighborhood.

5.31 SIGNS

There are only four types of signs allowed on individual lots within Tetherow townhouse neighborhoods and those signs must adhere to the individual specifications and requirements established for their use. For further information on signs see the Declaration and Association Rules. The approved signs are listed below, and their specifications and requirements can be found in the Appendix.

- Address Sign Exhibit-B1 in the Appendix.
- Lot Resale Sign Exhibit-B2 in the Appendix.
- Townhouse Sale Sign Exhibit-B3 in the Appendix.
- Townhouse Neighborhood Construction Sign Exhibit-B4 in the Appendix.
- Townhouse Construction and Monument Sign Exhibit-B5.1 in the Appendix.
- Townhouse Open House and Model Open Sign Exhibit-B5.2 in the Appendix.

5.32 FIREWOOD

As a safety precaution, particularly during fire season, firewood must be completely enclosed within the Unit, garage, or other structure approved by the ARC. No outdoor storage of combustible materials is allowed.

5.33 UTILITIES

All utility connections between trunk lines and individual structures must be placed underground. All areas of excavation for site utility work must be restored to its preexisting condition or remediated in accordance with the ARC approved Final Master Plan Design Review Landscape Plan and Final Townhouse Design Review Landscape Plan.

Electric power is available from Pacific Power and Light, natural gas from Cascade Natural Gas, and telephone from CenturyLink or BendBroadband. The City of Bend provides water and sewer services. Heating oil and propane gas are available from local suppliers but above ground tanks of any kind are not permitted.

6 ARCHITECTURAL DESIGN GUIDELINES

The intent of the Architectural Design Guidelines is to encourage diversity and individual expression of design while assuring the collective result creates compatibility between neighboring properties and visual harmony for the Community as a whole. To that end, townhouses should reflect regional styles and architectural traditions and respond to the unique characteristics of the High Desert climate. Each townhouse neighborhood and townhouse should respond to the unique opportunities and constraints of its own site, embracing the topography, natural vegetation and trees, views, sun orientation, and seasonal climatic patterns. Townhouse designs that reflect a thoughtful response to the natural environment enhance the visual harmony of the Community and support the Community's success.

6.1 TOWNHOUSE DESIGN CONSIDERATIONS

- Townhouses within a townhouse neighborhood shall express a consistent style and character utilizing a refined palette of architectural elements, materials, and colors.
- A townhouse is a single structure containing one, two, or three private residential Units.
- There is no minimum or maximum size limit for a townhouse or Unit.
- Townhouse floor plans and exterior designs may be repeated within a townhouse neighborhood, but not from one neighborhood to another.
- In creating a townhouse design type, the design of a single Unit may be repeated to create the townhouse design type or up to three different Unit designs can be used to create the townhouse design type.
- Each townhouse neighborhood shall provide a minimum of four unique townhouse design types. The ARC may, at their own discretion, reduce the minimum requirement for townhouse design types if the project size justifies the reduction.
- By varying the Unit configurations and the composition of materials, colors, architectural features, and massing, unique townhouse design types can be created.
- Within the prescribed palette for the neighborhood, varying materials and colors may be used to create design variety, but changes in materials and colors alone will not be enough of a variation to qualify as a unique Design Type.
- Mirrored versions of a townhouse design type do not qualify as a unique design solution.
- No more than three townhouses of the same design type may be located adjacent to each other without ARC approval.
- A townhouse may be designed to appear as attached Units or as a large, single family home.

6.2 BUILDING HEIGHT

As defined by the Deschutes County Code 19.04.040, building height is the vertical distance measured from the Average Contact Ground Level of the building to the highest point of the building. The Guidelines have adopted this interpretation of building height. The maximum building height within a townhouse neighborhood shall be 35 feet. Exceptions may be approved on a case-by-case basis, but in no case shall the building height exceed the maximum height allowed by the County and/or the Tetherow Final Master Plan approval. At the ARC's discretion, more restrictive building height limitations may be imposed on a particular townhouse neighborhood to preserve views from neighboring properties and to minimize the impact of structures on sensitive natural areas adjacent to the neighborhood site.

For these Guidelines, Average Contact Ground Level is defined as the site topography that exists at the time a lot is sold to the first townhouse neighborhood Developer by the project Developer. Site modifications utilizing fill or excavation do not modify the original grade reference. An application with the intent of circumventing the Deschutes County height restrictions or the height restrictions within the Guidelines will not be permitted. In instances where proposed building heights are close to the established limit, the ARC may, during the course of construction, require the Developer of a townhouse neighborhood to complete a survey by a licensed surveyor of specific site and building elevations.

6.3 BUILDING FORM, MASSING, AND SCALE

Sensitivity to human scale is critical in presenting a comfortable, residential feeling within the natural setting of a townhouse neighborhood and to enhance visual relationships between neighboring townhouses. The overall form and massing should be based upon the combining of one or more central forms of simple geometry with secondary elements added to them. The goal is to portray a simple order and an honest expression of structure that responds to the topography and creates visual interest without being overly complex. Tall, imposing facades have a negative impact on adjacent properties and, as a consequence, tall building faces with little or no articulation will not be permitted. The following approaches should be considered when addressing massing and scale:

- To ensure the lowest floor of the townhouse is integrated with the site, a townhouse should be nestled into the site through the prudent use of site excavation.
- The building profile should follow the existing grade of the site, stepping back from the lowest point of contact with the site to the highest point of contact with the site. This stepped approach to designing townhouses will reduce the perceived height and size of the structures, especially when viewed from lower elevations on adjacent properties.
- In order to lessen the perception of height and overall size of a townhouse, lower roof pitches and articulated roofs should be used. Reducing story heights or the number of stories on the ends of the townhouse will also reduce the perceived height and size of a townhouse and greatly reduce the impacts on neighboring properties.
- Design approaches utilizing the strategic placement of architectural elements, detailing, and materials should be considered when attempting to reduce the perceived height and size of a townhouse. These design approaches include the use of bays, covered porches, dormers, stone wainscoting, base trim boards, and frieze boards.

6.4 HILLSIDE SITES

To the maximum extent practicable, townhouses and other improvements should conform to the natural topography of the neighborhood site, and this is especially true of hillside townhouse sites with steep slopes. The ARC will address hillside development on a case-by-case basis with the goals of minimizing foundation height, exposed foundations, and excessive excavation. In evaluating designs for hillside townhouse sites the ARC will consider the following guidelines:

- Foundation height should be kept to a minimum and stepped to conform to the natural topography. For relatively flat townhouse sites, the top elevation of the foundation at any corner of a building shall not exceed 1 foot above the existing natural grade adjacent to the foundation. On hillside townhouse sites, foundations should be stepped into the slope so the townhouse and other improvements do not float above the natural grade.

- Exposed foundations and understructures must be minimized. Siding material must extend to within 8 inches of the finished grade unless otherwise allowed by the ARC. Fill may not be used to hide tall downhill foundations.
- Large downhill cantilevers and/or overhanging areas supported by columns should be avoided and may not be approved.
- Skirt or pony walls exceeding three feet in height shall be landscaped to reduce the perceived scale of the wall.

6.5 EXTERIOR WALL TREATMENTS

Building materials and detailing add visual interest to a townhouse, but the composition of those materials must reflect a balanced, consistent, and coordinated approach. The following are guidelines for the use of exterior wall materials:

- The use of architectural features, fenestration, detailing, and building materials must be consistent and coordinated on all elevations of the townhouse. Although the front and rear elevations may emphasize certain elements of the overall exterior palette, no one element can be singled out for use exclusively on any one elevation.
- The front elevation of each townhouse shall have a clearly identifiable entry for each Unit.
- Exterior wall treatments must be designed to eliminate the perception of any material being used as a cosmetic veneer.
- In general, at least two exterior wall materials and no more than four exterior wall materials should be used on any one townhouse.
- Stone and rock, when used, must appear to be functional and integrated into the structure of the townhouse. Stone and rock cannot appear to be a cosmetic veneer, cannot terminate on a straight wall plane, and cannot be terminated at an outside corner of the townhouse. Stone must extend around any outside corner at least 6 feet and then terminate at an inside corner. Small inlays of stone, such as between garage doors, should be avoided.
- Stucco must be used as an accent material that, when combined with other materials, creates a building style that reflects the characteristics of regional architecture. Stucco designs with Southwestern, Spanish, or Mediterranean styling will not be approved.
- Exterior siding material must be carried down to within eight inches of the finished grade and must either slope or step to match the finished grade unless otherwise approved by the ARC. Stepped siding or trim must be done at 45 degrees or less. Only 8 inches of exposed foundation is permitted on any exterior elevation unless noted otherwise (Exhibit A1).

6.6 EXTERIOR WALL MATERIALS

The following materials are approved for use on exterior walls:

- Natural wood when treated with semi-transparent or solid body stains or paints approved for use by the ARC.
- Individually applied board and batten siding when treated with semi-transparent or solid body stains or paints approved for use by the ARC.
- Log and heavy timber structural elements.
- Lap cement-based siding material designed to appear as natural wood siding when treated with semi-transparent or solid body stains or paints approved for use by the ARC.

- Wood veneer plywood siding when applied with other materials and trims to cover or disguise panel joints.
- Natural stone can be used as an accent material on a townhouse, but cannot be used as the primary or sole exterior building material. The stone type and pattern should complement the townhouse design and the stone color should be medium to dark tones. The use of river rock will be reviewed on a case-by-case basis.
- Stucco, synthetic stucco, acrylic plaster, and similar products may be used as an accent material on the townhouse, but cannot be used as the primary or sole exterior building material.
- Metal siding will be reviewed and may be approved by the ARC on a case-by-case basis. Metal siding cannot be used as the primary or sole exterior building material.
- Brick veneers will be reviewed and may be approved by the ARC on a case-by-case basis. Brick cannot be used as the primary or sole exterior building material.
- Patterned architectural concrete, commonly referred to as heavy board-formed concrete, will be reviewed and may be approved by the ARC on a case-by-case basis. To be considered, the entire exposed surface of the concrete must have a board-formed texture. The patterned architectural concrete may be colored with a medium to dark tone to complement the exterior of the townhouse. Concrete walls with form ties, expansion joints, or control joints are not considered to be patterned architectural concrete and are not acceptable.
- Cultured stone veneers will be reviewed and may be approved by the ARC on a case-by-case basis. The cultured stone type and pattern should complement the townhouse design, and the cultured stone color should be medium to dark tones.
- Concrete Masonry Unit (CMU) will be considered on a case-by-case basis.

The following materials are prohibited for use on exterior walls:

- Smooth or exposed aggregate concrete walls with the exception of 8" maximum exposure between the exterior wall finish and finish grade.
- Corrugated metal and sheet metal siding and trim except where used as flashings.
- Vinyl and aluminum siding and trim.
- Pressboard panel siding.

6.7 EXTERIOR COLORS

The following are guidelines for the use of exterior colors:

- Exterior colors should complement the natural colors of the site's soils, rocks, and native vegetation.
- The body colors of a townhouse should be subtle and fairly neutral tones avoiding stark contrast with the surrounding landscape and neighboring townhouses.
- Richer tones of the natural colors found within the local environment may be approved as accents on such elements as trim, windows, and doors, but these color selections will be reviewed on a case-by-case basis by the ARC and approval is at their discretion.
- The application of exterior color should be consistent on all elevations.
- Care shall be taken to avoid duplicating colors of nearby townhouse neighborhoods or single family houses.

- Natural wood siding, exposed beams, peeled logs and natural shakes must be stained or treated with an accent or complementary color.
- Light and bright colors will not be approved.
- All exterior painting and staining, no matter when it is done, requires ARC review and written approval prior to commencing with the work. This includes any repainting, even if the same colors of paint or stain are being used.

6.8 WINDOWS AND DOORS

The following are guidelines governing the use of windows and doors:

- The use of wood or wood clad windows, doors, and door frames is highly encouraged.
- The colors for window and door frames and doors will be reviewed by the ARC on a case-by-case basis. Window and door frames shall be a mid to dark tone. Light colors, such as white, almond, tan, and light grey will not be approved.
- Aluminum windows and door frames must be vinyl clad or bronze anodized unless the ARC specifically authorizes other treatments.
- Clear, solar bronze, or solar grey door and window glazing is encouraged.
- Glazing with a colored tint other than bronze or grey will be reviewed on a case-by-case basis. Reflective door and window glazing is prohibited.
- The fire protection standards require that all exterior glass must be double pane and where glass exceeds 40 square feet in size it must be tempered, heat strengthened or other building-code approved safety glazing.

6.9 ROOFS

The following are guidelines for the design of roofs:

- In general a relatively low-profile dwelling with varied massing and roof lines is encouraged.
- Large, expansive areas of unbroken roof planes and long continuous ridge lines will not be approved.
- Roofs featuring complex forms, a variety of roof types, or steep slopes will not be approved.
- Roofing materials, such as slate, tile, concrete tiles, concrete simulated shakes, and metal roofing, are acceptable roofing applications, although the shape, style, material, and color will require ARC review and approval.
- All flashing must be painted to match the roof color.
- Other noncombustible roofing materials will be reviewed on a case-by-case basis by the ARC.
- Combustible wood shakes and shingles are not allowed due to fire danger.
- Low-sloped membrane roofing will be reviewed on a case-by-case basis. When allowed, the roof covering must include a decorative finish or ballast such as stone, pavers, or metal panels. Depending on visibility and location, dark membranes may be approved without ballast. The ballast and all trim are also subject to ARC review and approval.

6.10 GARAGES

Strong consideration should be given to the townhouse design to ensure the garage doors do not dominate the front elevation of the townhouse. The following are guidelines for the design of garages:

- At least two bays are required for all garages and street facing garages must have two garage doors.
- Garage doors may not exceed 9 feet in height.
- Garage doors shall be designed and/or selected to complement the building design using similar materials, detailing, and colors. Doors clad with siding material to match the townhouse or custom wood doors are encouraged.
- Doors with a flat surface or simulated wood panels will not be permitted.
- The use of windows in garages is encouraged in order to create the appearance of a livable space.

6.11 COURTYARDS

A courtyard is considered to be an unroofed area that is completely or mostly enclosed by the walls of a building. An area enclosed by fencing on two or more sides may be considered a fenced yard rather than a courtyard. Courtyards are considered to be a component of the building coverage and must be considered in the calculation for allowed building coverage.

6.12 DECKS, PORCHES AND SKIRTING

Decks and porches provide excellent opportunities to enjoy outdoor living and capture views to the golf course, Common Areas, the National Forest, and the Cascades. At the same time, decks and porches may impact views from neighboring properties, the golf course, Common Areas, and roadways. The following are guidelines for the design of decks, porches, and associated skirting:

- Elevated decks with living areas below shall have supports that complement the style of the townhouse and are appropriately sized to appear to carry the perceived load of the deck.
- The use of built-up wing walls or columns clad with siding material that matches the townhouse is encouraged. Peeled logs and heavy timber can also be used as columns if their use complements the style of the townhouse.
- Decks or porches with long, uninterrupted runs will not be permitted. Projections, steps, or other architectural features must be incorporated into the deck design in order to soften their appearance and reduce their perceived size.
- The use of noncombustible materials is encouraged for all decks, porches, and skirting. Pursuant to wildland fire protection standards, noncombustible materials are required at the crest of hills or slopes exceeding 25%, where the deck or porch will be in direct line of fire moving up the slope.
- Areas below decks and porches, where the open space is less than 60 inches above grade, must be boxed in or screened with noncombustible, corrosive resistant screening material with openings not greater than ¼ inch in any dimension. Where screening is exposed to view it shall be covered with spaced siding, lattice, or similar materials. All screening materials must be reviewed and approved by the ARC.
- Design elements used to box in or screen the area below decks and porches may be recessed from the edge of the structure a distance equal to the height above grade.

6.13 CHIMNEYS

All exterior chimney chases surrounding flues must be of wood, stone, stucco, or brick. Chimney chases for fireplaces located on exterior and interior walls should be expressed on the exterior of the townhouse. An exception to these requirements may be granted for contemporary townhouses if the fireplace is located on an interior wall. In this situation, the ARC may approve a metal chase, flue, and shroud that are painted or powder coated. Other materials for exterior chimney chases may be considered by the ARC on a case-by-case basis.

A chimney chase and shroud large enough to completely cover the wood-burning metal fireplace flue are required, as is a spark arrestor. The chimney chase, flue, and shroud shall be painted to match surrounding materials. Exposed, unfinished metal or reflective metal are not permitted. If a chimney chase and shroud are used on a gas fireplace vent, it also must be built and painted to the same standards as wood-burning fireplace chimney chases and shrouds.

6.14 SHUTTERS

Shutters, if used, shall be incorporated on all facades, sized to adequately cover the window(s) they adorn, and must be complementary of the particular townhouse style.

6.15 AWNINGS

Awnings will be reviewed on a case-by-case basis by the ARC. Proposed awnings must complement the townhouse design with appropriately selected colors, materials, and detailing. Awnings with bold patterns or bright colors will not be approved.

6.16 DRAPERIES AND WINDOW COVERINGS

All draperies and window coverings visible from the exterior of the townhouse must be of materials and colors that are compatible with the exterior of the townhouse. Owners should consider views from neighboring Units, the golf course, Common Areas, and roadways when selecting draperies and window coverings.

6.17 EXTERIOR LIGHTING

All exterior lighting for the house and accessory structures must be submitted to the ARC for review and approval. This includes exterior wall fixtures, pendants, and similar types of lighting. Submittals must include manufactures catalog cut-sheets indicating all features of the proposed fixtures including size, finish, material, wattage, and lamp type. Information that is specific to the fixtures should be highlighted on the cut-sheet.

The locations of all fixtures must be shown on the floor plans, indicating fixture types, the total number of each fixture, and wattage of each fixture. All exterior wall fixtures and pendants must be shown on the exterior elevations of all required Architectural Review submittals. All exterior light fixtures installed without ARC review and written approval may be subject to removal or replacement.

The following are guidelines intended to eliminate glare from exterior light fixtures, reduce exterior lighting impacts on neighboring Units, homesites, and roadways, and be Dark Sky Friendly:

- Dark Sky Friendly approved fixtures are strongly encouraged.

- Only two fixtures with a visible light source are permitted on each individual unit. The placement of the lights is subject to ARC review and written approval. These fixtures must be positioned to identify and accentuate the front entry of the individual units. The shroud for these fixtures may be translucent or transparent, but each fixture is limited to a maximum output of 60 watts no matter the number of lamps in the fixture.
- All other exterior wall fixtures and pendants must have downward directed lighting and light sources that are shielded with an opaque material. No part of the lamp may be exposed through the use of translucent, transparent, or perforated opaque material.
- With the exception of holiday lighting, colored lamps are prohibited on all exterior lighting.
- Holiday lighting is allowed between the Saturday before Thanksgiving and the second weekend in January. All holiday lighting must be turned off by 11 p.m. daily and must be completely removed by January 31.

Additional guidelines governing site lighting, such as driveway, path, and landscape lighting, can be found in Section 5.27 Site Lighting.

6.18 GUTTERS AND DOWNSPOUTS

Gutters are highly recommended for townhouses in Tetherow and in some cases may be required. All gutters and downspouts shall be designed as a continuous architectural design feature. Exposed gutters and downspouts shall be colored or painted to blend in with the surface to which they are attached. Bronze or copper colored gutters and downspouts are encouraged, and rustic chain downspouts are permitted.

All drainage pipes from downspouts must be concealed from view from neighboring properties. In addition, all drainage must be accommodated on the townhouse neighborhood site. The use of French drains or other types of dry well systems to accommodate roof runoff is encouraged and, in some cases, may be required by the ARC.

6.19 MECHANICAL EQUIPMENT

All exterior mechanical equipment, including heating and cooling systems, must be screened with fencing complementary to the architecture of the home. Views of equipment must be screened from neighboring homesites, the golf course, common areas, and roadways. Fencing around mechanical equipment must be tall enough to screen equipment. Supplemental screening with plant material is encouraged, however screening with plant material only is not acceptable.

6.20 VENTS, FLASHING AND DECORATIVE FEATURES

All vents and flashing, whether metal or plastic, must be painted or otherwise treated to blend in with the surrounding building materials.

Unpainted or untreated metal or plastic decorative features will be reviewed on a case-by-case basis and require ARC approval prior to installation.

6.21 SATELLITE DISHES AND ANTENNAS

Per FCC Over-the-Air Reception Devices Rule (47 C.F.R. Section 1.4000) it is within the Association's rights to stipulate the following:

- Satellite dishes over 1 meter (39.37”) in diameter and antennas used for AM/FM radio, amateur ("ham") radio, Citizen's Band ("CB") radio, or Digital Audio Radio Services ("DARS") require ARC review and approval prior to installation. The Association or ARC may require these types of satellite dishes and antennas be removed or relocated at the Developer's or Owner's expense if they are installed without prior approval.
- For satellite dishes and antennas that do not meet the requirements mentioned above, Developers and Owners are encouraged to place these devices in non-street side locations.
- When a suitable non-street side location is unavailable, Developers and Owners are encouraged to locate the dish or antenna in an inconspicuous location, such as in front of a wall or roof plane, rather than in a location where the dish or antenna is silhouetted by the sky.
- All dishes and antennas must be painted a color that blends in with the adjacent wall or roof.

6.22 SKYLIGHTS AND SOLAR COLLECTION SYSTEMS

Skylight frames must be vinyl clad or bronze anodized unless the ARC specifically authorizes other treatments. All glass or other reflective materials on a skylight shall be treated to eliminate reflective glare. Clear bronze or gray glazing is preferred over white translucent glass. Domed skylights are not allowed. All glass must be double pane and, where glass exceeds 40 square feet, it must be tempered, heat strengthened, or other building-code approved safety glazing. For fire protection reasons, plastic glazing panels are not allowed within Tetherow.

Solar collection systems require unique design, review, and construction considerations and, as a consequence, Preliminary Review is required for all solar collection systems. Solar collection systems that are flat to the roof and integrated into the roof design are permitted within Tetherow, subject to ARC review and approval. All glass or other reflective materials on a solar collection system shall be treated to eliminate reflective glare. All mechanical portions of the system must be contained within the structure and not attached to the exterior of the roof. Systems that consist of solar panels located on racks on the roof will be evaluated on a case-by-case basis and may be approved or denied at the discretion of the ARC.

6.23 TARPS AND OTHER WEATHER PROTECTIVE MATERIALS

Tarps can be quite unsightly and their judicious use is encouraged. Tarps and other weather protective materials must be reviewed and approved by the ARC prior to their use. All tarps and other weather protective materials must be brown or dark grey in color.

6.24 UTILITY METERS

All utility meters shall be installed according to the guidelines provided by the utility companies. All meter housings and junctions must be painted to match the siding color of the structure to which it is attached. Control boxes and equipment for irrigation systems and similar systems must also be painted to match the siding color of the structure to which it is attached.

7 LANDSCAPE DESIGN GUIDELINES

The overall goal for landscaping within Tetherow is the enhancement of the existing High Desert environment rather than making obvious alterations or additions to the landscape. Landscaping should be organized in a casual, organic manner, integrating the townhouse neighborhood into the natural environment. As one moves from the undisturbed areas of the neighborhood into the built environment there should be a subtle transition in the landscape development. The careful development of these transitional areas is important to maintaining an attractive and natural environment within each neighborhood and within the Community as a whole.

The landscape design for a townhouse neighborhood should complement the architectural design of the townhouse themselves. The style, architectural character, architectural features, and materials used on the townhouses should inform design decisions and selections for the landscape and hardscapes supporting the townhouses, creating a harmonious solution for the site.

Extensive formal landscaping is not required for any townhouse neighborhood, but landscape designs featuring formalized elements and more intensive planting schemes may be deemed appropriate adjacent to townhouses, contained within courtyards, and as a feature surrounding neighborhood amenities. At the same time, there may be situations in which the ARC requires landscaping and/or grading to a site in order to screen on-site elements from off-site view.

Whether the landscaping is located in the Common Areas of the townhouse neighborhood or located within an individual lot, all proposed landscaping must be submitted to the ARC for review and approval. This includes the initial Landscape Plans required for the Common Areas and the individual lots and any subsequent Landscape Plans required for alterations to the landscaping within Common Areas or individual lots.

7.1 PLANTING MATERIALS

The existing landscape at Tetherow is one of the Community's most intriguing features and the existing landscape can be enhanced, provided plant materials are chosen from the Tetherow Plant List (Exhibit-D), which has been designed to comply with OSU Extension Service guide titled "Fire-Resistant Plants for Oregon Home Landscapes".

7.2 PLANTING DESIGN GUIDELINES

The following are general guidelines for landscaping within a townhouse neighborhood and on individual lots:

- All landscaping and plant materials must meet the wildland fire protection standards, which are reflected in these Guidelines.
- Plant materials should be varied in mature size and grouped or clustered to appear natural. To add seasonal interest, layered planting schemes are encouraged.
- Foundation plantings including shrubs, ornamental grasses, ground covers, and vines should be used to soften the building-to-site interface and reduce the perceived height of foundation walls.
- New trees, shrubs, and grasses must be planted in sufficient quantities and sizes to replicate the characteristics of the native vegetation found on the site. When deemed appropriate,

plant quantities and sizes may be increased to enhance designated areas on the site. Large areas of mulch or unplanted areas will not be permitted.

- Trees, shrubs, and grasses should be used to frame views, buffer or screen elements both on-site and off-site, and define outdoor spaces.
- All areas disturbed during construction must be restored to its preexisting condition or remediated in accordance with an ARC approved Landscape Plan contained within the Final Master Plan Design Review and/or the Final Townhouse Design Review. In order to achieve an undisturbed appearance, natural area restoration should include the replanting of native grasses and other native plant materials irregularly spaced at a spacing no greater than 24” on center and the redistributing of mulch and/or duff to cover all exposed raw earth.
- Trees, shrubs, grasses, and flowers should be organized within the neighborhood and on individual lots according to their water consumption needs.
- The use of plant materials that are resistant to deer, elk, and other wildlife is encouraged.
- Landscape Plans must comply with the Deschutes County and Tetherow noxious weed control programs.
- Proposed trees with mature heights that would overhang any roof must be planted outside the structures defensible space, as defined in the wildland fire protection standards contained in this chapter of the Guidelines.

7.3 PLANTING ZONES

Tetherow occupies a unique location situated in a sensitive area between the City of Bend and the National Forest. This site provides an opportunity to preserve the natural beauty of the site by adopting an approach to design that embraces the natural environment and its indigenous plant materials and landscape features. This approach utilizes three planting zones, which in combination create smooth transitions between natural areas and the build environment and provides continuity and consistency for the landscapes within townhouse neighborhoods and the Community as a whole.

Although Developers and Owners are not required to utilize all three zones on their landscape design, the three zones provide for a variety of landscape options from undisturbed and indigenous to manicured and ornamental. Individual lots may not have the space to effectively implement a landscape plan with three zones, but islands with native plants may serve as a visual bridge between the natural areas and any formally landscaped areas adjacent to individual lots.

The three planting zones are defined below and depicted in Exhibit-C in the Appendix:

Natural Zone

The Natural Zone is required on all townhouse neighborhood sites, should contain only native plant materials, and typically borders townhouse neighborhood boundaries, the golf course, Common Areas, and roadways. Plant materials can be existing native plants or native plants installed as part of a site Remediation Plan or Landscape plan. Every effort should be made to blend the landscape of this zone with the adjacent off-site landscape. The depth of this zone is a function of existing site conditions and proposed improvements, but this zone should cover a significant portion of the site, and if the Developer desires, the Natural Zone can cover the entire townhouse neighborhood site. At a minimum, an area extending 10 feet from the back of the street curb onto the parcel and/or lot must be maintained as a Natural Zone.

Any clearing or grubbing within this zone must be limited to driveway and utility access routes, approved fire prevention efforts, and removal of noxious or invasive weeds. Irrigation systems in the Natural Zones shall be on a separate irrigation zone that can be turned off or abandoned once landscape improvements in the zone have become established.

Remediation of Natural Zones shall include container stock plantings of native plant material indigenous to the site, in a density that mimics adjacent undisturbed areas, and supplemental seeding. Native bunch grasses and forbs shall be irregularly spaced at a spacing no greater than 24” on center in the Natural Zone. Large areas of bare soil or mulch will not be approved at final inspection.

Transition Zone

The Transition Zone serves as the bridge between the relatively undisturbed and indigenous and the manicured and ornamental. The Transition Zone supports a greater variety of plant materials planted at greater densities in an informal or organic layout. Informal flower and herb gardens may be integrated into Transition Zone landscape.

Interior Zone

The Interior Zone is the area directly adjacent to the townhouse or common neighborhood amenities featuring the most intense and formal design elements. The Interior Zone may contain the greatest diversity of plant materials, including non-native varieties and lawns. It should be noted, formal landscapes are not required in this zone. Fencing for a neighborhood vegetable garden must be constructed so as to comply with the regulations for Fencing contained in the Guidelines.

7.4 SITE SLOPES AND LANDSCAPED AREAS

Proposed plant materials and site slopes must be compatible in order to ensure proper drainage and plant growth while limiting erosion. In some cases, terracing is recommended for steeper slopes to reduce the possibility of erosion and facilitate maintenance. The following are maximum slope recommendations for typical landscape treatments:

- Grass (mowable) 3:1
- Grass (unmowed) 2:1
- Planted Banks 2:1
- Firm Earth 2:1

7.5 VIEW PRESERVATION

When designing and maintaining landscaping for townhouse neighborhoods, view preservation from adjacent sites shall be considered and accommodated to the greatest extent practicable. At the ARC’s discretion, required Landscape Plans for the neighborhood and for individual lots may be required to be modified to accommodate the preservation of off-site views.

Any landscaping planted by the Developer of a townhouse neighborhood or an Owner of an individual Unit shall not materially impair the views from an adjacent property. The ARC shall be the sole judge of such impairment. If it is determined vegetation needs to be removed or trimmed, the benefited party shall be responsible for any costs associated with the removal and/or trimming of such vegetation.

7.6 GOLF COURSE SETBACKS AND FRONTAGE

In order to enhance golf course setbacks, a minimal amount of plugged native fescues and native fire resistive trees may be allowed in a golf course setback. The ARC and Golf Course Owner must approve any landscaping proposed within any golf course setback prior to installation. If plant material is added, the area should be lightly irrigated for a year or two in order to allow the fescues and trees to become established. Mowable grass areas and non-native bushes or other plants are not allowed in a golf course setback.

A townhouse neighborhood with golf course frontage will be required to blend the landscaping on the neighborhood Common Areas and the individual lots with the existing landscaping on the golf course in order to avoid abrupt transitions or demarcations at lot or neighborhood boundaries.

7.7 LANDSCAPE BORDERS

In most cases, borders demarking specific areas of landscaping are not necessary. However, in some instances, the definition of areas between walkways, lawns, flowerbeds, and natural areas may be desired, particularly when attempting to retain gravel or bark. Suggested materials for use as landscape borders are wood headers, concrete curbing, and metal edging. The use of small rocks as a border will not be permitted, no matter the size, shape, or color.

7.8 WALKWAYS

Walkways constructed of earth tone pavers, aggregate, decorative gravel, or poured concrete are allowed within Tetherow. If gravel, decomposed granite, or a similar material is used, it must be contained within the walkway area with an approved landscape border to keep it from creeping into other parts of the landscape. All proposed walkway materials and their colors must be included on all required Landscape Plans.

7.9 WILDLAND FIRE PROTECTION STANDARDS

The Community is located adjacent to the National Forest and special consideration has been required for the protection of the Community from wildland fire hazards. In addition to the standards outlined below, Developers, Owners and their agents, designers, and contractors are encouraged to refer to www.firewise.org for additional information regarding construction and landscaping practices. The following wildland fire protection, design, and maintenance standards will apply to existing and proposed landscapes.

- All proposed landscape plant materials must be selected from the Tetherow Plant List contained in Exhibit-D.
- All existing and proposed landscaping must provide a defensible space around all structures that is a minimum of 30 feet wide. When structures are within 30 feet of a property line, then the entire space between the structure and property line must be maintained as a defensible space.
- On sites sloping down and away from structures, the defensible space will be required to increase by 10 feet for every 5% of slope exceeding 20%. In other words a 20 to 25% slope requires 40 feet of defensible space and a 25 to 30% slope requires 50 feet of defensible space.
- Trees should be widely spaced and carefully situated to reduce the opportunity for fire to jump from tree to tree as further described on Exhibit-E.

- Tree branches overhanging a structure must remain free of dead plant material and must be maintained on a regular basis.
- A 15-foot minimum clearance between any exhaust vent for a chimney, stovepipe, or similar device and overhanging tree branches must be maintained at all times.
- Areas under decks shall remain free of combustible materials including, but not limited to, firewood, stored building materials, leaves, and needles.
- In order to minimize ladder fuels, a trim zone that is at least three times as wide as the height of the shrubs must be maintained around all shrubs, as defined in Exhibit-F. Ladder fuels are considered to be all combustible vegetation that may allow a wildfire to spread from lower growing vegetation to higher growing vegetation, such as branches, leaves, and needles.
- Seasonally dry grasses must be maintained to a height not exceeding four inches.
- During the growing season specific plants or landscaped areas may require irrigation in order to remain vibrant and healthy, particularly in dry conditions that occur throughout the summer. In those areas an underground irrigation system will be required and shall be used, as needed, to maintain the landscape.
- All plants should remain substantially free of dead plant material.
- Cut grass, leaves, needles, twigs, limbs, and other plant debris shall not be allowed to accumulate on-site, creating expansive fuel beds. All plant debris must be removed from the site and disposed in an off-site location in accordance with all laws and regulations.

7.10 IRRIGATION SYSTEMS

An extensive knowledge of plant materials, soils, site exposures, and climatic conditions is required to design and install an effective irrigation system that both supports a healthy landscape and preserves our precious water resources. It is highly recommended a landscape professional be consulted to design the irrigation system in an effort to conserve our natural resources and ultimately save the homeowner money. The following guidelines govern irrigation systems:

- Efficient irrigation is achieved by the use of weather-based controllers, efficient sprinkler heads, micro irrigation, and proper zoning.
- Plants should be grouped according to water use, and irrigation should be zoned accordingly.
- Lawn, shrub beds, and trees should be zoned on separate valves.
- Meadow grasses and fescues can be used to substitute for manicured lawn areas further away from buildings and decks, particularly in the Natural and Transition Zones.
- Soil conditions may also affect watering needs. Central Oregon soils are generally granular and porous and do not retain moisture well and subsurface rock formations may affect the absorption rate and moisture retention capacity of the soil.

7.11 MAINTENANCE

The landscaping on all Common Areas and lots within a townhouse neighborhood must be maintained on a regular basis. The following guidelines address landscape maintenance:

- Townhouse neighborhood Common Areas and lots must present a neat and pleasing appearance when viewed from other Units, adjacent properties, the golf course, Tetherow Common Areas, and roadways.

- Care must be taken to minimize fire danger and maximize weed control on the townhouse neighborhood Common Areas and lots.
- Mitigation must be provided to reduce wind-blown dust originating from the townhouse neighborhood Common Areas and lots.
- All disturbed areas must be restored to its preexisting condition or remediated in accordance with an ARC approved Landscape Plan.

7.12 MULCH

Mulching is one of the most important ways to maintain healthy plants in the landscape. Among other benefits, mulch helps reduce the evaporation of moisture from the soil, improves soil structure as organic materials break down, reduces weed growth, and provides dust abatement. For these reasons the use of mulch is encouraged in Tetherow; however it needs to be used in a way that satisfies our Firewise community goals. Top dressings of virtually any material, from inorganic decorative gravel to shredded bark or compost, are considered mulch. The following are guidelines for the usage of mulch in the landscape:

- Organic bark mulch may be used in the interior and transitional landscape zones, in areas where there is permanent irrigation. Inorganic mulch, such as decorative gravel, may be used in areas without irrigation within these zones.
- Organic bark mulch should be separated from combustible building materials with a swath, at least 12 inches wide, of noncombustible materials, such as decorative gravel or pavers.
- Large bark chips, red mulch, and synthetic rubber mulches are not permitted.
- Mulch should not be used as a primary ground cover. Large areas of mulch with sparse planting will not be allowed.
- Regular maintenance will be required in order to maintain an acceptable appearance, which includes weeding and periodically adding bark to the bed.
- Developers and Owners must contain bark within designated beds to prevent bark from sloughing into other elements of the landscape or onto neighboring properties.
- Mulch should gradually transition to the natural landscape zone rather than creating a hard edge line.
- Fine mulches, such as composted bark, may be mixed in to the top soil in natural areas following the planting or seeding of native plant materials to help establishment and control dust. Mulch should not be used as a top dressing and not refreshed in the natural zone after establishment.

7.13 LANDSCAPE COMPLETION

All landscaping should be completed as soon as possible and must be fully completed within six months of final building inspection of each townhouse by the local government jurisdiction. Landscaping for Common Areas must be fully completed in accordance with the approved Final Master Plan Design Review prior to requesting an ARC Final Inspection. Landscaping for individual lots must be fully completed in accordance with the approved Final Townhouse Design Review prior to requesting an ARC Final Inspection.

8 DESIGN REVIEW PROCESS

The townhouse design review process has been developed to ensure that all construction, alterations, and renovations involving the site, buildings, associated structures and features, hardscapes, and landscape conform to the principles guiding development within Tetherow as outlined in the Guidelines. The ARC endeavors to encourage creative input and diversity of ideas from Developers, Owners, and their consultants in the design and construction of townhouse neighborhood while precluding inappropriate design and development. Successful implementation of these objectives will result in the manifestation of the vision created for Tetherow.

The ARC evaluates all development proposals on the basis of these Guidelines. Some of the Guidelines are written as broad standards, and the interpretation of these standards is left up to the discretion of the ARC. Developers and Owners should note the ARC has absolute discretion when evaluating the appropriateness of all proposed designs related to the development of a townhouse neighborhood, including site improvements, dwellings, and landscaping for all Common Areas and lots. The ARC also has absolute discretion when determining whether or not the designs and construction practices conform to the Guidelines. It should be understood, designs and improvements deemed appropriate for one townhouse neighborhood may not be deemed appropriate for another townhouse neighborhood, and the ARC will make that determination at their discretion.

The design review process has been structured to eliminate excessive delays, but the ARC suggests Developers and Owners begin the review process early to allow ample time to obtain required permits. It is imperative the Preliminary Master Plan Design Review and Final Master Plan Design Review have been approved by the ARC prior to submitting any plans to the County for Final Plat approval in order to avoid project delays and Developer expenses associated with a possible resubmittal of the Final Plat. It is also imperative Final Townhouse Design Review approvals have been granted by the ARC for each townhouse prior to submitting drawings to the County for building permits in order to avoid project delays and Developer expenses associated with a possible resubmittal of the building permits.

What follows are the procedures and submittal requirements associated with townhouse design reviews.

8.1 PREPARATION

- Developers and Owners and their agents, architects, designers, contractors, and subcontractors should verify they have a current copy of the Tetherow Townhouse Design Guidelines. All copies have a version number and are dated. The current Tetherow Townhouse Design Guidelines can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com.
- It is the responsibility of the Developer and Owner and their agents, architects, designers, contractors, subcontractors, and suppliers to read, understand, and follow all guidelines, stipulations, and requirements contained within the Declaration and the Tetherow Townhouse Design Guidelines.
- It is imperative the Developer and Owner and their agents, architects, designers, contractors, or subcontractors not undertake any modifications to a property or begin any

construction without an approved ARC Final Master Plan Design Review, an approved ARC Final Townhouse Design Review, and the payment of all fees and deposits. This includes, but is not limited to, site clearing, grubbing, grading, excavation, tree removal, placement of temporary structures on the site, placement of construction equipment and materials on the site, or the construction of any permanent improvements.

- The Developer and Owner and their agents, architects, designers, contractors, and subcontractors must understand all construction is subject to all applicable codes and ordinances as adopted by the State of Oregon, Deschutes County, the City of Bend, and all other pertinent agencies. The most stringent regulations shall apply in the event of a conflict.

8.2 DESIGN REVIEW SUMMARY FOR DEVELOPERS

With the exception of the Pre-Design Meeting, the Preliminary Master Plan Design Review, Final Master Plan Design Review, Design Types Design Review, and Final Townhouse Design Review follow similar processes and require the same amount of time to complete the review. The following outline summarizes the 5 steps involved in completing all submittals and the location of relevant information concerning the submittal requirements, Fees and Compliance Deposits associated with each Design Review.

Step 1: Pre-Design Meeting

- This is a required meeting between representatives of the ARC and the Developer and their designer or architect.
- The meeting is to be held prior to beginning design work on the project.
- Information concerning the Pre-Design Meeting can be found in Section 9.5.
- A Pre-Design Meeting can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com.
- A Pre-Design Meeting application is contained in Appendix-TH-A.
- A fee of \$2,500 plus \$100 per Unit applies to the Pre-Design Meeting, Preliminary Master Plan Design Review, and the Final Master Plan Design Review. The Application Fee is non-refundable.

Step 2: Preliminary Master Plan Design Review

- Information concerning the Preliminary Master Plan Design Review can be found in Section 9.6.
- The application for the Preliminary Master Plan Design Review is located in Appendix-TH-B.
- The submittal requirements are located in Appendix-TH-B.
- A Preliminary Master Plan Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com.
- Once the Developer has received an approval from the ARC for the Preliminary Master Plan Design Review, design work can begin on the Final Master Plan Design Review submittal package.

Step 3: Final Master Plan Design Review

- Information concerning the Final Master Plan Design Review can be found in Section 9.7.
- The application for the Final Master Plan Design Review is located in Appendix-TH-C.
- The submittal requirements for the Final Master Plan Design Review are located in Appendix-TH-C.
- A Final Master Plan Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com.
- The Final Master Plan must be reviewed and approved prior to submitting the Final Plat to the County.
- A Final Master Plan Compliance Deposit of \$10,000 is due at the time of the Final Master Plan Design Review submittal.

Step 4: Design Types Design Review

- A separate submittal is required for each Design Type proposed.
- Information concerning the Design Types Design Review can be found in Section 9.8.
- The application for the Design Types Design Review is located in Appendix-TH-D.
- The submittal requirements for the Design Types Design Review are located in Appendix-TH-D.
- A Design Types Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com.
- The Design Types must be reviewed and approved prior to commencing design work on the applicable Final Townhouse Design Review submittals.
- A non-refundable fee of \$1,500 is required for each Design Type Design Review.

Step 5: Final Townhouse Design Review

- Information concerning the Final Townhouse Design Review can be found in Section 9.9.
- The application for the Final Townhouse Design Review is located in Appendix-TH-E.
- The submittal requirements for the Final Townhouse Design Review are located in Appendix-TH-E.
- A Final Townhouse Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com.
- A non-refundable fee of \$500 per Unit is required for Final Townhouse Design Review.
- A Townhouse Compliance Deposit of \$2,500 per Unit is required at the time of the Final Townhouse Design Review submittal.

8.3 DESIGN REVIEW APPLICATIONS AND SUBMITTAL REQUIREMENTS

Design review at Tetherow is an iterative process requiring several meetings and submittals. The required meetings and submittals are listed below, and a reference is given to specific application and submittal requirements that can be found in the Appendix.

- Townhouse: Pre-Design Meeting – Appendix-TH-A.
- Townhouse: Preliminary Master Plan Design Review – Appendix-TH-B.
- Townhouse: Final Master Plan Design Review – Appendix-TH-C.
- Townhouse: Design Type Design Review – Appendix-TH-D.
- Townhouse: Final Townhouse Design Review – Appendix-TH-E.
- Townhouse: Additions or Alterations Design Review – Appendix-TH-F.
- Townhouse: Landscape Alterations Design Review – Appendix-TH-G.

Emailed submittals, hard copy submittal and fees must be received by 1:00 pm on Monday, one week prior to the ARC meeting. If any of the required items are not received prior to the deadline, the review will be postponed until the first scheduled meeting following receipt of all submittal requirements.

8.4 ARC MEETINGS

Only ARC members, the ARC Administrator, ARC staff, and any independent consulting professionals may be present when applications are discussed by the committee, with the exception of an applicant and/or applicant’s agent or designer who choose to present their designs to the committee. During these meetings, all relevant submittal materials will be reviewed and evaluated, along with comments and recommendations provided by the ARC Administrator, Golf Course Owner and, as necessary, independent professional consultants.

As outlined below, the Developer and their architect/designer are required to attend the Pre-Design Meeting. The Developer and/or their agent may attend the Preliminary Master Plan Design Review. The Developer and/or their agent may not attend the Final Master Plan Design Review or the Final Townhouse Design Review.

8.5 PRE-DESIGN MEETING

A Pre-Design meeting between the Developer or Owner and/or their agent and select members of the ARC and ARC Administration will be required before commencing with any design review submittals. The Developer's or Owner's architect or designer must also attend this meeting and may serve as the Developer's or Owner's agent. The purpose of this meeting is to provide the Developer or Owner and/or their agent, and architect or designer with the necessary introductory information to initiate the design process. It will also allow discussion of the Developer’s or Owner’s objectives and goals in the context of the Tetherow design principles. Specific issues such as density, townhouse design, parcel layout, setbacks, site improvements, and approaches to landscaping can be discussed in the context of the specific property involved. In addition, a site visit may be included in the meeting in order to address specific site related issues such as views, topography, and the protection of significant trees and site features. If applicable, Heritage Trees will be identified at this time and protection requirements will be discussed.

A Pre-Design Meeting can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. A Pre-Design Meeting application is contained in Appendix-TH-A.

8.6 PRELIMINARY MASTER PLAN DESIGN REVIEW

The Preliminary Master Plan Design Review allows the Developer and/or the Developer’s agent the opportunity to communicate their design intent, in a conceptual manner, for the development

of their townhouse project. In order for the ARC to achieve a full understanding of the Developer's intent, conceptual level drawings and plans will be required for the review. These drawings and plans shall address such design considerations as project phasing, site improvements, stormwater management, proposed grading, on-site roads, guest parking, building layout on the site, landscaping in the Common Areas, landscaping on townhouse lots, and floor plans and building elevations of townhouses. During the Preliminary Master Plan Design Review the ARC will assess compliance with the Guidelines and appropriateness of the proposed design approaches and solutions. At the same time, the ARC will give guidance for the resolution of any issues and identify areas of concern that must be addressed in the Final Master Plan Design Review. The Preliminary Master Plan Design Review occurs early in the design process, allowing required modifications to be made without an excessive waste of time or money. Preliminary Master Plan Design Review is required for all new construction, site improvements, and landscaping and the alteration of an ARC approved Final Master Plan.

Although they are not required to, the Developer and/or their agent or designers may attend the Preliminary Master Plan Design Review in order to personally present their design intent and discuss relevant issues with the ARC. If an applicant wishes to take advantage of this opportunity, they should indicate this on the application for Preliminary Master Plan Design Review, and they will be contacted by the ARC Administrator to schedule a meeting time.

A Preliminary Master Plan Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. The application for the Preliminary Master Plan Design Review and Submittal Requirements are contained in Appendix-TH-B.

8.7 FINAL MASTER PLAN DESIGN REVIEW

The Final Master Plan Design Review provides the opportunity for the ARC to assess the townhouse project's compliance with the Guidelines and appropriateness of the proposed design approaches and solutions. At the same time, the ARC will evaluate the resolution of issues or concerns identified in the Preliminary Master Plan Design Review. Detailed drawings, plans, and documents will be required for this review addressing design considerations such as project phasing, site improvements, proposed grading, stormwater management, on-site roads, guest parking, building layout on the site, and landscaping in the Common Areas. Conceptual level drawings will be required for the townhouse floor plans, building elevations, and landscaping on individual lots. Final Master Plan Design Review is required for all new construction, site improvements, and landscaping and the alteration of an ARC approved Final Master Plan.

A Final Master Plan Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. The application for the Final Master Plan Design Review and Submittal Requirements are contained in Appendix-TH-C.

8.8 DESIGN TYPES DESIGN REVIEW

The Developer shall submit detailed drawings for each design type proposed within the townhouse neighborhood. In a phased project, design types associated with a particular phase may be submitted for review prior to commencing construction of that phase. The required detailed drawings include all exterior building elevations and building floor plans. Elevations must have all features clearly identified and all materials and finishes noted. Elevations must include exterior lighting, roofing, siding, railings, trims, patios, porches, decks, foundations, stairs, storage enclosures, masonry, rockery and retaining walls, windows and doors, meter housings, and spa

facilities. Floor plans must accurately reflect the exterior elevations and must include a summary of the square footage of each floor level, heated and unheated. During this Review the ARC will assess compliance with the Guidelines and appropriateness of the proposed design approaches and solutions. At the same time, the ARC will assess compliance with the Final Master Plan Design Review and the resolution of issues or concerns identified in that Design Review.

A Design Types Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. The application for the Design Types Design Review and Submittal Requirements are contained in Appendix-TH-D.

8.9 FINAL TOWNHOUSE DESIGN REVIEW

The Developer shall submit detailed plans for the development of each townhouse for review by the ARC prior to submitting drawings to the County for building permits. These plans, drawings and documents shall address such design considerations as site improvements, proposed grading, stormwater management, guest parking, the location and orientation of each townhouse on the site, landscaping on individual lots, building materials and colors, and floor plans and building elevations of each townhouse. During this Review the ARC will assess compliance with the Guidelines and appropriateness of the proposed design approaches and solutions. At the same time, the ARC will assess compliance with the Final Master Plan Design Review and the resolution of issues or concerns identified in that Design Types Design Review.

A Final Townhouse Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. The application for the Final Townhouse Design Review and Submittal Requirements are contained in Appendix-TH-E.

8.10 ADDITIONS AND ALTERATIONS DESIGN REVIEW

Additions and Alterations Design Review is required for all proposed alterations or additions to a Unit, a townhouse, accessory structures, and site improvements on Common Areas and individual lots, such as decks, patios, terraces, service yards, dog runs, walkways, driveways, turnarounds, rockery walls, and retaining walls. The ARC will review the proposed additions or alterations for compliance with the Guidelines and appropriateness of the proposed design approaches and solutions. The required drawings and documents must describe, in detail, the design intent for the addition or alteration.

Although they are not required to, Owners and/or their agents or designers may attend the Additions and Alterations Design Review in order to personally present their design intent and discuss relevant issues with the ARC. If an applicant wishes to take advantage of this opportunity, they should indicate this on the application for Additions and Alterations Design Review and they will be contacted by the ARC Administrator to schedule a meeting time.

An Additions and Alterations Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. The application for an Additions and Alterations Design Review and Submittal Requirements are contained in Appendix-TH-F.

8.11 LANDSCAPE ALTERATIONS DESIGN REVIEW

Landscape Alterations Design Review is required for all proposed alterations to the landscape on a lot or the Common Areas of a townhouse neighborhood. The ARC will review the proposed landscape alterations for compliance with the Guidelines and appropriateness of the proposed

design approaches and solutions. The required drawings and documents must describe, in detail, the design intent for the landscape alteration.

Although they are not required to, Owners and/or their agents or designers may attend the Landscape Alterations Design Review in order to personally present their design intent and discuss relevant issues with the ARC. If an applicant wishes to take advantage of this opportunity, they should indicate this on the application for Landscape Alterations Design Review and they will be contacted by the ARC Administrator to schedule a meeting time.

A Landscape Alterations Design Review can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. The application for a Landscape Alterations Design Review and Submittal Requirements are contained in Appendix-TH-G.

8.12 ARC REVIEW DECISIONS

Following all required meetings and ARC reviews a letter will be prepared, giving notice of any decisions and related comments, requirements, concerns or conditions of approval. A copy of this letter will be provided to the Developer or Owner and/or their agent.

Before commencing with any clearing, grubbing, grading, excavation, construction or related activity on the townhouse neighborhood site the Developer must have an approval from the ARC for the Final Master Plan Design Review. If there are specific areas of concern or a requirement for more information, the Developer and/or the Developer's agent may be required to meet with a representative of the ARC to discuss these issues and/or deliver required revised drawings and supplemental information to the ARC prior to the ARC issuing a Final Approval allowing construction to begin.

Before commencing with the construction of any townhouse, the Developer must have an approval from the ARC for the Final Townhouse Design Review. If there are specific areas of concern or a requirement for more information, the Developer and/or the Developer's agent may be required to meet with a representative of the ARC to discuss these issues and/or deliver required revised drawings and supplemental information to the ARC prior to the ARC issuing a Final Approval allowing construction to begin.

Before commencing with any alterations or additions to the structures, site, landscape, or hardscape on a lot, the Owner must have an approval from the ARC for either an Additions and Alterations Design Review or a Landscape Alterations Design Review. If there are specific areas of concern or a requirement for more information, the Owner and/or the Owner's agent may be required to meet with a representative of the ARC to discuss these issues and/or deliver required revised drawings and supplemental information to the ARC prior to the ARC issuing a Final Approval allowing construction to begin.

If construction approval has been granted and construction has not begun within one year of receiving Final Approval, the approval expires and 100% of the Application Fees and Deposits are forfeited. In order to proceed with development on a townhouse neighborhood or a townhouse lot once an approval has expired, the Developer or Owner will need to go through the entire review process again, including submitting all required applications, review materials, review fees, and compliance deposits.

8.13 PROJECT COMPLETION

Once the Final Townhouse Design Review has been completed and approved by the ARC, the Developer has 24 months to complete the construction of all structures, site improvements, and landscaping. During this timeframe, construction shall not be idle for more than 30 consecutive days. If a project is idle for more than 30 days or is not completed in 24 months, the application and approval will be revoked and 100% of the Application Fees and Deposit will be forfeited. In order to proceed with development on the townhouse project once an approval has been revoked, the Developer will need to go through the entire review process again, including submitting all required applications, review materials, review fees, and compliance deposits.

8.14 REVIEW DEFERRALS

The only submittal item that is allowed to be deferred is paint colors. Paint colors must be submitted to the ARC for review and approval within 90 days of receiving Final Townhouse Design Review approval. It is prudent to plan color schemes well in advance of scheduling painters and, in all cases, the paint colors must be submitted for review at least 30 days prior to the scheduled start of the work.

8.15 APPEALS

Appeals to the ARC will be allowed only as provided in the Declaration.

8.16 FINAL INSPECTION AND COMPLIANCE DEPOSIT REFUND

Within 30 days of receiving the Certificate of Occupancy and completing all of the ARC approved building construction, site improvements and landscaping, the Developer or Owner is required to contact the ARC to schedule the Final ARC Inspection. Failure to do so may result in fines being levied per the Tetherow Fine and Resolution Policy.

A Final Inspection can be requested from the ARC by calling 541.647.6284 or via email at ARC@TetherowOwners.com. During the building season there is a greater demand for Final Inspections and sometimes inspections are not feasible due to weather conditions. As a consequence, a request for an inspection may require extra time to be fulfilled.

Up to 100% of the Compliance Deposit will be refunded upon a satisfactory Final Inspection of the exterior of the building, site improvements and the landscaping by a representative of the ARC. Refunds will be mailed to the applicant within 30 days of mailing the ARC Final Inspection decision.

9 DESIGN REVIEW APPLICATION FEES AND COMPLIANCE DEPOSITS

In order to defray the expense of reviewing plans, monitoring construction, administering the process and to compensate consulting architects, landscape architects, and other professionals, these Guidelines establish fees for each type of review submittal. In addition, Compliance Deposits will be required for various stages of the initial development of the townhouse neighborhood, as well as for any additions or alterations to the site, architecture, or landscaping on an individual lot or Common Areas. The amount required for Application Fees and the Compliance Deposit may be amended as needed, but the fees and deposits in effect at the time of submittal will be the fees charged and deposits required in all cases.

The current Application Fees and Compliance Deposits schedule is as follows:

9.1 DESIGN REVIEW APPLICATION FEES

Pre-Design Meeting, Preliminary Master Plan Design Review, and Final Master Plan Design Review

- A fee of \$2,500 plus \$100 per Unit applies to the Pre-Design Meeting, Preliminary Master Plan Design Review, and the Final Master Plan Design Review. The Application Fee is non-refundable.

Design Types Design Review

- A fee of \$1,500 per townhouse design type applies to the Design Type Design Review. The Application Fee is non-refundable.

Final Townhouse Design Review

- A fee of \$500 per Unit applies to the Final Townhouse Design Review. The Application Fee is non-refundable.

Building Additions and Alterations Design Review

- Design review applications for additions or alterations to existing improvements require a \$500 Application Fee. The Application Fee is non-refundable.

Landscape Alterations Design Review

- Landscape alterations to areas greater than 100 square feet in size require a \$500 design review fee.
- Alterations to areas less than 100 square feet in size do not require the payment of a design review fee, but the proposed alterations must be reviewed and approved by the ARC.

9.2 COMPLIANCE DEPOSITS

Final Master Plan Compliance Deposit

- Townhouse neighborhoods require a Final Master Plan Compliance Deposit of \$10,000, due at the time of the Final Master Plan Design Review submittal. When the project has met all ARC conditions and is deemed complete by the ARC, the Compliance Deposit will be refunded to the applicant.

Townhouse Compliance Deposit

- A Townhouse Compliance Deposit of \$2,500 per Unit is required at the time of the Final Townhouse Design Review submittal. For clarity, an individual Unit will require a \$2,500 Compliance Deposit, a townhouse with two Units will require a \$5,000 Compliance Deposit, and a townhouse with three Units will require a \$7,500 Compliance Deposit. When the townhouse has met all ARC conditions and is deemed complete by the ARC, the Compliance Deposit will be refunded to the applicant. Townhouse completion and compliance deposit refund must be completed within 24 months of date of final approval letter, if not, compliance deposit will be revoked and required to be replenished until final inspection has been approved. The compliance deposit will then be refunded to the applicant.

Building Additions and Alterations Compliance Deposit

- A Compliance Deposit for building additions and alterations shall be assessed at \$2.00 per square foot of total space of the addition or alteration. The minimum addition or alteration Compliance Deposit is \$250.

Landscape Alterations Compliance Deposit

- A Compliance Deposit for landscape alterations shall be assessed at \$2.00 per square foot of affected area with a minimum Compliance Deposit of \$250.

9.3 RESUBMITTALS

When more than two complete resubmittals are required by the ARC or when an applicant, for reasons of their own choosing, makes a complete resubmittal, the Resubmittal Fee is \$500. The Resubmittal Fee is non-refundable.

9.4 VIOLATIONS

Violations of these Guidelines discovered during an inspection will be documented by letter or memorandum. The ARC or its authorized representatives shall provide written notice of noncompliance to the Developer or Owner and/or their agent, which will include a reasonable timeframe to correct all violations. In the event that a Developer or Owner or their agent fails to correct the violations within the established timeframe, the ARC or its authorized representatives may proceed with enforcement as provided for in the Declaration.

10 CONSTRUCTION RULES

The Developer and Owners are responsible for ensuring all contractors, subcontractors, suppliers and other personnel are aware of and comply with these Construction Rules. No clearing, grubbing, grading, excavation, plant or tree removal, or construction related activities are allowed until an approval has been granted by the ARC for the Final Master Plan Design Review and the Final Townhouse Design Review, all required Fees and Compliance Deposits have been paid in full, and all building and related use permits have been obtained from Deschutes County. No additions or alterations to a Unit or townhouse are allowed until an approval has been granted by the ARC following an Additions and Alterations Design Review, all required Fees and Compliance Deposits have been paid in full, and all building and related use permits have been obtained from Deschutes County. No landscape alterations to a Common Area within the townhouse neighborhood or a lot are allowed until an approval has been granted by the ARC following a Landscape Alterations Design Review, all required Fees and Compliance Deposits have been paid in full, and all building and related use permits have been obtained from Deschutes County.

10.1 CONSTRUCTION HOURS

Construction hours are limited to the following:

- Monday thru Friday 7:00AM to 7:00PM
- Saturday 9:00AM to 5:00PM
- Sunday All construction activity is prohibited

Construction activity may not occur on Memorial Day, the 4th of July, Labor Day, Thanksgiving, Christmas or New Years.

To request an exception to the construction hours, contact the ARC a minimum of 72 hours prior to the date of the proposed exception. All construction hour exceptions must receive ARC written approval before they can be instituted.

10.2 CONSTRUCTION AREA PLAN

The area within a townhouse neighborhood impacted by construction activity, defined as the Construction Area, shall be limited to the immediate area around required excavation and related site improvements, with reasonable allowances made for the practicality of construction, safety requirements, and material storage. The boundary of the Construction Area must be within 50 feet of proposed structures, with exceptions for a project entry and utility improvements. Every effort must be made to limit impacts within lot setbacks and other areas of the site that are to be retained as natural areas. If the project is to be developed in phases, then a Construction Area will need to be defined for each phase of the project.

The Construction Area(s) must be shown on the Construction Area Plan submitted with the Final Master Plan Design Review and Final Townhouse Design Review submittals. Construction Area Plans are also required with an Additions and Alterations Design Review and a Landscape Alterations Design Review. The ARC may, at its own discretion, require a reduction in size of the Construction Area(s) in order to lessen impacts to existing vegetation, trees, and site features. The Construction Area Plan shall include the following:

- Vehicular access route which must coincide with the approved entry road locations.

- Fencing defining the boundary of the Construction Area.
- Tree Protection Zone fencing.
- The location and size of the construction material storage areas.
- Parking areas with the maximum number of spaces provided within each area.
- The locations of the chemical toilet, temporary construction trailer/structure, dumpster and debris storage, temporary power, and firefighting equipment.
- Fueling and staging areas.
- Concrete wash pit area.
- Areas of utility trenching.
- Limits of excavation.
- The location and size of stockpiles containing excavated materials, top soil, and duff.
- Site drainage patterns.
- Erosion control measures for the site.

Prior to commencing any clearing, grubbing, grading, excavation, or other construction related activities within a townhouse neighborhood, a Construction Area fence shall be established on the site. The Construction Area fencing shall meet the following guidelines:

- The fence must be 4 feet in height and placed in the location depicted on the approved Construction Area Plan of the Final Master Plan Design Review and the Final Townhouse Design Review.
- The fence must be a continuous barrier of woven material, 1 ½ inches x 1 ½ inches, with posts spaced to prevent sagging or encroachment on the protected zone.
- With the exception of the driveway entry, no gates or means of access will be allowed in the fence.
- No construction trailers, parking, material or equipment storage, dumpsters, portable toilets, or construction traffic will be permitted outside the Construction Area.
- Temporary material storage outside the Construction Area may be considered on a case-by-case basis, but the temporary storage site must be reviewed and approved by the ARC in writing prior to placement of the materials on the site. Strict limitations will be placed on the duration of use of the temporary storage site and a site Remediation Plan must accompany the request for a temporary storage site.
- The Construction Area fencing shall be maintained in a neat, professional appearance and shall remain in place until all structures and related site improvements have been completed.

10.3 TREE PROTECTION

Before any clearing, grubbing, grading, excavation, or other construction related activities commence with a townhouse neighborhood, a Tree Protection Zone shall be established around all significant trees that are to remain on the site, as established on the Site Plan from the approved ARC Final Master Plan Design Review and the Final Townhouse Design Review. The Tree Protection Zone shall consist of a fence 4 feet in height established at the drip line, which is defined as the outer edge of the leaf canopy formed by a single tree or group of trees. The fence must be a continuous barrier of woven material, 1 ½ inches x 1 ½ inches, with posts spaced to prevent sagging or encroachment on the protected zone. No gates or means of access will be

allowed in the fence. The Tree Protection Zone fencing shall remain in place until all site and building construction has been completed. See Exhibit-G for a tree protection fence detail.

Any activities that would cause compaction or contamination of soil within the Tree Protection Zone must be avoided. No parking, material or equipment storage, or construction traffic will be permitted within the Tree Protection Zone. To avoid damage to the tree root systems from accidental spills, all liquids and powders must be stored at least 40 feet from any tree that is to remain on the site.

Trees marked for removal within view corridors must remain on the site until a comprehensive analysis can be undertaken of the impacts and opportunities associated with the tree removal. To that end, the ARC will conduct an on-site visit, once the townhouse has been framed, to assess the tree removal request and determine which trees, if any, can be removed. Unauthorized tree removal will result in the immediate forfeiture of the Compliance Deposit and suspension of all construction activity on the property. At such time as a Remediation Plan has been reviewed and approved by the ARC and a new Compliance Deposit has been received, construction activity will be allowed to resume. In addition to the loss of the Compliance Deposit, fines may be assessed for this unauthorized tree removal and tree replacements may be required as part of the Remediation Plan.

10.4 EXCAVATION AND GRADING

Prior to commencing any clearing, grubbing, grading, excavation, or other construction related activities within a townhouse neighborhood, Construction Area fencing, and Tree Protection Zone fencing shall be established on the site, as defined on the Site Plan from the approved ARC Final Master Plan Design Review and the Final Townhouse Design Review.

During construction, erosion is to be minimized on exposed cut and/or fill slopes through proper soil stabilization, drainage management, and revegetation. The following procedures and practices are to be employed to reduce any impacts associated with erosion and sedimentation:

- Silt fencing is to be placed around the down-slope perimeter of graded areas taking care to provide adequate space for construction activities. In some areas multiple silt fences may be required.
- Soil may not be placed against the fence, and silt is to be cleared out regularly.
- Grading on the outer slopes of the site is to be completed first and stabilized immediately.
- Modification and/or repairs of storm control measures are to be performed as soon as a need has been identified.
- Erosion control measures should be inspected regularly, paying particular attention to storm cycles that may require pre-storm and post-storm inspections.
- Emergency erosion control materials, including rice straw bales and silt fencing, are to be stockpiled on-site. Straw bales are to be covered with medium to dark earth tone plastic or tarps.
- Disturbed areas are to be watered or otherwise treated, as required, to prevent blowing dust.
- Surplus excavation spoils, not otherwise used on the site in accordance with the Site Plan approved by the ARC, shall be removed from the site as soon as practicable.

- Topsoil is to be properly stockpiled within the Construction Area and covered to minimize blowing dust. This topsoil is to be used for required site remediation.
- Slope roughening or terracing may be utilized to stabilize revegetation on exposed cut bedrock slopes.

10.5 CONSTRUCTION ACCESS

All construction access, entry and exit, for Meeks Trail shall be via the south end entry of Meeks Trail (Skyline Ranch Road and Meeks Trail intersection). Construction access for Meeks Trail off Metolius, entry or exit, is not permitted. As the townhouse neighborhoods develop, the ARC and Developers shall devise construction access routes to and from respective sites that are the least disruptive to residents of the neighborhoods and community.

Access into Tetherow and onto a townhouse neighborhood must comply with the following guidelines:

- Contractors, subcontractors, and suppliers may only access Tetherow during approved construction hours Monday - Friday 7:00am to 7:00pm, Saturdays 9:00am to 5:00pm, with no Tetherow access or construction allowed Sundays or Holidays.
- All construction vehicles are to be identified with the name and contact information of the respective contractor, subcontractor, or supplier.
- Only one construction access route will be permitted into the Construction Area of a townhouse neighborhood, unless otherwise approved by the ARC.
- Entering or otherwise trespassing onto any private property, the golf course, golf course property, or any Common Areas within Tetherow is not permitted for any reason. To enter a property, other than the townhouse neighborhood under construction, written permission must be granted by the Tetherow HOA and the property Owner affected by the entry.
- Material and equipment deliveries are to be consolidated to the greatest extent practicable on building area and not stored on streets. No vehicles, trailers, equipment or supplies may be stored on any street overnight.

10.6 SECURITY GATE CODE

- Contractors are not provided a security gate code for access for any construction site. Gate codes are for homeowner use only. Contractor and their subcontractors will have access only during approved construction hours. Any unauthorized use of a gates code is not permitted. Construction hours Monday - Friday 7:00am to 7:00pm, Saturdays 9:00am to 5:00pm, with no Tetherow access or construction allowed Sundays or Holidays.

10.7 VEHICLES USE AND PARKING AREAS

To the greatest extent practicable, vehicles associated with the construction of a townhouse project shall be parked on that townhouse neighborhood property. Each Contractor is responsible for ensuring subcontractors and suppliers obey the following requirements:

- Adherence to the 25 mph speed limit is to be a condition of the contract between the Contractors and their subcontractors and suppliers. The Association may deny repeat offenders future access to Tetherow.

- Construction crews are not to park on or otherwise access any off-site property including other lots, the golf course, golf course properties, and Common Areas.
- When parking on-site all vehicles, machinery, and equipment must be parked within the Construction Area at all times.
- When parking on the street care must be taken to park so as to not inhibit or block traffic and all parking must occur on only one side of the street.
- Overnight parking of all homeowners' vehicles, construction vehicles, trailers, is prohibited.
- Driving or parking within the drip line of trees is not permitted.

10.8 STORAGE OF MATERIALS, EQUIPMENT, AND MACHINERY

The following guidelines regarding material and equipment storage are to be adhered to:

- All construction materials must be stored within the designated Construction Area(s) as defined in Construction Area Plan of the ARC approved Final Master Plan Design Review and Final Townhouse Design Review .
- Tractors, hoists, lifts, and other similar construction equipment and machinery may be parked overnight on the site but only during times when construction activities require their use. Overnight parking of construction vehicles is prohibited.
- All flammable products are to be used and stored in a safe manner as required by the Fire Authority with jurisdiction over Tetherow.
- Equipment cleaning, maintenance, and painting may not occur outside the Construction Area or near any Tree Protection Zone.

10.9 CONSTRUCTION TRAILERS AND TEMPORARY STRUCTURES

The following guidelines must be met with regard to construction trailers and temporary structures:

- The use and siting of any construction trailer or temporary structure must be in compliance with the ARC approved Construction Area Plan. If the project is developed in phases, then a location for the construction trailer must be shown for each phase of the project.
- The trailer or temporary structure should be sited to minimize impacts on-site and to adjacent properties.
- All such facilities must be removed from the property upon issuance of a certificate of occupancy of the last townhouse or Final Inspection of the last townhouse, whichever comes first.
- Construction trailers and temporary structures are to be painted neutral earth tone colors.
- Temporary living quarters for the Developer, Owners, contractors or their employees are not permitted within any townhouse neighborhood.

10.10 CONSTRUCTION SIGNS

Construction signs at Tetherow shall conform to the specifications and requirements established by these Guidelines. Only one construction sign is allowed per townhouse neighborhood and the panel is to be installed parallel to the addressed street at least 10 feet inside all townhouse neighborhood property lines. No other signs of any kind are allowed on the site during construction. A Construction sign may be installed upon payment of the Final Master Plan

Compliance Deposit and must be removed at the issuance of an occupancy permit for the last townhouse or prior to the Final Inspection of the last townhouse, whichever is first. Additional specifications and requirements for construction signs can be found in Exhibit-B5 in the Appendix.

Note: Only architects licensed in the State of Oregon are allowed to use the title “Architect” on the construction sign.

10.11 SANITARY FACILITIES

Up to two on-site chemical toilets shall be provided for construction personnel in a location defined on the ARC approved Construction Area Plan. The facilities are to be maintained regularly and, if possible, screened from view from adjacent properties and roads. The facilities may not be located within any protected area or setback.

10.12 FIRE AND SAFETY PRECAUTIONS

The following fire and safety precautions are to be followed at all construction sites:

- No site fires of any kind are allowed on any building site or anywhere in Tetherow.
- All fires are to be reported even if it is assumed the fire has been contained, extinguished, or reported.
- One or more persons are to be appointed as the individual(s) responsible for reporting emergencies and/or phoning 911.
- Emergency vehicle access to the townhouse neighborhood is to be maintained at all times.
- Access to fire hydrants, emergency water tanks, and emergency turnouts are not to be blocked at any time.
- Smoking materials are to be discarded in approved containers.
- A shovel and fire extinguisher rated at least 4A, 20BC, are to be mounted in plain view.
- All equipment, including small tools, is to utilize a working spark arrestor.

10.13 DEBRIS AND WASTE REMOVAL

The following debris and waste removal procedures are to be followed at all construction sites:

- To the greatest extent practicable, the Contractor is to develop and maintain a waste management program that separates all construction waste on-site for recycling or reuse, diverting this waste from disposal in a landfill. The donation of salvaged materials to charitable organizations should also be considered. Contractors are to check with local waste disposal agencies to determine which recycling services are available for construction waste materials.
- Approved trash and recyclable containers with covers are required and shall remain on site at all times.
- Contractors are to clean up all trash and debris on the construction site at the end of each day. Trash is to be securely covered to prevent wind-blown trash and wildlife access.
- Lightweight material, packaging, and other items are to be covered or weighted down to prevent wind from blowing such materials off the construction site.
- Trash, debris, and recyclable materials are to be removed from each construction site at least once a week and transported to an authorized disposal site.

- A temporary concrete wash pit is to be situated in an approved location and remediation measures must be performed by the Contractor upon completion of construction.
- Paints, solvents, and other hazardous materials are not to be disposed of on-site.
- Contractors are not to dump, bury, or burn trash anywhere with the townhouse neighborhood or on any other property within Tetherow.
- During the construction period each construction site is to be kept neat and tidy to prevent it from becoming a public eyesore or affecting adjacent properties.
- Any transfer of dirt from construction site to road is the responsibility of developer or owner. All dirt transfer to road must be cleaned by the end of every work week.
- Any cleanup costs incurred by the ARC, the Declarant, or the Association in enforcing these requirements will be billed to the Developer or Owner.

10.14 AIR QUALITY CONTROL

The following air quality control measures are to be utilized on the construction site:

- Construction machinery and equipment exhaust emissions cannot exceed local code requirements for air pollution limitations.
- Open burning of any material, trees, or vegetation is not permitted at any time.

10.15 DAMAGE REPAIR AND RESTORATION

Damage of any kind to off-site property caused by contractors, subcontractors, or suppliers will not be permitted. The following requirements address remediation, repair costs, and fines:

- The offending contractor, subcontractor, or supplier shall pay any fines imposed by Deschutes County or other governmental agencies as a result of any violation related to the incident.
- If a contractor, subcontractor, or supplier ventures beyond the boundaries of the Construction Area, the disturbed area must be revegetated immediately according to an ARC approved Remediation Plan, and the vegetation must be maintained until the ARC has determined the vegetation is fully established.
- Damage to off-site property including, but not limited to, grades, structures, fencing, paths, driveways, culverts, ditches, drains, fences, trees, landscaping, lighting, signage, and roadways shall be repaired immediately and at the expense of the Developer or Owner whose contractor, subcontractor, or supplier caused the damage.
- Any property repair costs incurred by the ARC, Declarant, or the Association related to damage caused by a contractor, subcontractor, or supplier will be billed to the Developer or Owner whose contractor, subcontractor, or supplier caused the damage.

10.16 ATTIRE AND LANGUAGE

All construction workers must present themselves as professionals. Loud, foul language and ripped and tattered clothing will not be tolerated. Shirts must be worn at all times by all contractors, subcontractors, and suppliers while within a townhouse neighborhood.

10.17 ALCOHOL AND CONTROLLED SUBSTANCES

The furnishing or consumption of alcohol or the use of any controlled substance on any construction site or Common Area within Tetherow is prohibited. Any construction site found with discarded alcoholic containers may be fined by the HOA.

10.18 PETS

Construction personnel are prohibited from bringing animals or pets of any kind into Tetherow. This includes animals or pets on the construction site or in any vehicles.

10.19 NOISE CONTROL

Radios, stereos, or similar devices are not allowed to be played outside on the construction site; earphones are permissible if allowed by OSHA. Interior music volume must be controlled to prevent sound from being heard beyond the perimeter of the interior of the structure.

10.20 SECURITY

Any request for security fencing will be reviewed by the ARC on a case-by-case basis. Security lights, audible alarms, and guard animals are not allowed.

10.21 ENFORCEMENT AND FINES

In accordance with Article 12 of the Tetherow CC&R's titled Enforcement, the Tetherow Owners Association Board of Directors has adopted a Resolution for Enforcement of Governing Documents, Exhibit 1 Compliance Process and Schedule and a Board Resolution adopting the polices. Please review these documents as they relate to Design and Construction at Tetherow.

If you have questions about Enforcement and Fines contact the Community Association Manager, at toa@tetherow.com

11 APPENDIX

11.1 APPLICATIONS AND SUBMITTAL REQUIREMENTS

- Appendix-TH-A Townhouse: Pre-Design Meeting Application.
- Appendix-TH-B Townhouse: Preliminary Master Plan Design Review Application and Submittal Requirements.
- Appendix-TH-C Townhouse: Final Master Plan Design Review Application and Submittal Requirements.
- Appendix-TH-D Townhouse: Design Types Design Review Application and Submittal Requirements.
- Appendix-TH-E Townhouse: Final Townhouse Design Review Application and Submittal Requirements.
- Appendix-TH-F Townhouse: Additions and Alterations Design Review Application and Submittal Requirements.
- Appendix-TH-G Townhouse: Landscape Design Review Application for Design Type Alterations and Submittal Requirements.

11.2 SCHEDULE OF EXHIBITS

- Exhibit-A Buildable Area Diagram
- Exhibit-A1 Sloped Siding and Trim
- Exhibit-B1 Address Sign
- Exhibit-B2 Lot Resale Sign
- Exhibit-B3 Townhouse Sale Sign
- Exhibit-B4 Townhouse Neighborhood Construction Sign
- Exhibit-B5.1 Construction and Monument Sign
- Exhibit-B5.2 Open House and Model Open Signs
- Exhibit-C Planting Zones
- Exhibit-D Tetherow Plant List
- Exhibit-E Tree and Shrub Spacing Diagram
- Exhibit-F Ladder Fuel Trim Zone
- Exhibit-G Tree Protection Fencing
- Exhibit-H Construction Area Fencing

TOWNHOUSE: PRE-DESIGN MEETING APPLICATION

Townhouse Tract: _____

Project Address: _____

Developer: _____

 Phone: _____

 Address: _____

 Email: _____

Architect/Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Landscape Architect/
Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Contractor: _____

 Phone: _____

 Address: _____

 Email: _____

Application Fee: \$2,500

Developer's Signature: _____ Date: _____

For Architectural Review Committee use only:

Submittal Date: _____

Meeting Date: _____

Site Visit Date: _____

TOWNHOUSE: PRELIMINARY MASTER PLAN DESIGN REVIEW APPLICATION

Townhouse Tract: _____

Project Address: _____

Developer: _____

 Phone: _____

 Address: _____

 Email: _____

Architect/Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Landscape Architect/
Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Contractor: _____

 Phone: _____

 Address: _____

 Email: _____

Does the Applicant wish to present the proposal to the ARC? ___Yes ___No
(If yes, the Applicant will be notified to schedule the presentation.)

Application Fee: \$100 per Unit

Developer's Signature: _____ Date: _____

For Architectural Review Committee use only:

Submittal Date: _____

Meeting Date: _____

Site Visit Date: _____

TOWNHOUSE: PRELIMINARY MASTER PLAN DESIGN REVIEW SUBMITTAL PROCESS

The deadline for Design Review submittals is one week prior to the ARC meetings. ARC meetings are held every other Tuesday, which means any submittals you intend to have reviewed need to be submitted to the ARC office, and accepted as complete, by 1:00 PM Monday, one week prior to the scheduled meeting. All submittals will be reviewed for completeness when received. Incomplete submittals will not be accepted for review.

To submit a project for Preliminary Master Plan Design Review the Applicant must complete the two procedures outlined below:

The Applicant must email the following:

- A scanned PDF of the completed Preliminary Master Plan Design Review Application (Appendix- TH-B in the Tetherow Townhouse Design Guidelines)
- PDFs of the entire submittal package, including all required drawings and documents.
- All drawing must be compiled into a single PDF document.
- A PDF of the written description of the design intent.
- A scanned PDF of all checks for Design Review Fees and/or Compliance Deposits.

Email the PDFs to the following email address:

ARC@TetherowOwners.com

- In lieu of emailing the above items, a USB flash drive containing all of the required drawings and documents may be delivered to Tetherow ARC office (see address below).

The Applicant must mail or deliver the following:

- A copy of the completed Preliminary Master Plan Design Review Application (Appendix- TH-B in the Tetherow Townhouse Design Guidelines)
- A full-sized hard copy of the entire submittal package.
- Four (4) hard copies of the entire submittal package. All drawings must be in an 11x17 landscape format.
- A check to cover all required Design Review Fees and/or Compliance Deposits.

Mail the copies to the following address:

Tetherow ARC
61239 Tetherow Drive, Suite 207
Bend, OR 97702

TOWNHOUSE: PRELIMINARY MASTER PLAN DESIGN REVIEW SUBMITTAL REQUIREMENTS

Given this is a Preliminary Review, all plans and drawings may be presented at a conceptual level of detail and refinement. The following plans, drawings, documents, and site staking are required for a Preliminary Master Plan Design Review submittal:

SITE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one-foot intervals.
- Proposed grade changes at one foot intervals.
- The location, type, and size of all significant trees or heritage trees on the site with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Proposed Unit lot boundaries.
- Footprints of all townhouses and accessory structures.
- Proposed grade elevation of the first floor of all structures.
- Grade elevations of the major corners of the foundations in relationship to existing grade.
- Roof Overhangs.
- Highest ridge elevation in relationship to existing grade of each townhouse.
- Site improvements in Common Areas.
 - Interior roads.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa, hot tub, pool facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- Site improvements on Unit lots.
 - Driveways.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).

Appendix-TH-B

- Lot Coverage Summary of each Unit lot.
 - Total area of the roof defined by the eave line.
 - Total area of hardscape that extends beyond the roof eaves. This includes patios, terraces, decks, driveways, auto courts, and walkways.
 - Total area of the service yard.
 - Total area within courtyards not already included in the three items above.
 - Total area of the four items above.
 - Total lot area.
 - Percentage of lot coverage.

PHASING PLAN

- The Site Plan is to serve as the base for this plan.
- Depict the proposed phases of development for the townhouse neighborhood.

TOWNHOUSE FLOOR PLANS

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Gross square footage of each floor level.
- Net square footage of each floor level (excludes garage and unheated storage space).
- Floor plans must accurately reflect the exterior elevations (window size & placement, etc.).
- Building floor plans must be shown in their correct orientation. Stock plans that are mirrored images of the intended building floor plans will not be accepted.

TOWNHOUSE BUILDING ELEVATIONS

- Drawing scale to match scale used on floor plans.
- All exterior components, features, and materials clearly identified on each building elevation including windows, doors, garage doors, roofs, exterior wall coverings, trim, foundations, patios, porches, decks, stairways, railings, spas or hot tubs, retaining walls, exterior lighting, service yards, dog runs, and meter housings.
- Proposed grade elevation of the first floor of all structures drawn and noted on each building elevation.
- Elevation of the highest point of the roof ridge in relation to the existing grade noted on each building elevation.
- Accurate existing and proposed grades drawn and noted on each building elevation.
- Each building elevation must be shown in their correct orientation. Stock plans that are mirrored images of the intended building elevations will not be accepted.

LANDSCAPE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Construction Area boundaries.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one foot intervals.
- Proposed grade changes at one foot intervals.

Appendix-TH-B

- The location, type, and size of all significant trees or heritage trees on the site with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Proposed Unit lot boundaries.
- Footprints of all townhouses and accessory structures.
- Grade elevations of the major corners of the foundation in relationship to existing grade.
- Roof Overhangs.
- Site improvements in Common Areas.
 - Interior roads.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa, hot tub, pool facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- Site improvements Unit lots.
 - Driveways.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- For all Common Areas and streetscape, indicate the general types and locations of all proposed plant materials with planting zones clearly identified.
- For all Unit lots, indicate the general types and locations of all proposed plant materials with planting zones clearly identified.

DRAINAGE PLAN

- The Site Plan is to serve as the base for this plan.
- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All drainage patterns and on-site retention and disposal areas to be shown on the plan.

CONSTRUCTION AREA PLAN

- The Site Plan is to serve as the base for this plan.
- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- Define the general location of the Construction Area. If the project is to be developed in phases, then a Construction Area shall be shown for each phase.

SITE STAKING

- Parcel boundaries marked by stakes and ropes.
- Lot boundaries marked by stakes and ropes.

TOWNHOUSE: FINAL MASTER PLAN DESIGN REVIEW APPLICATION

Townhouse Tract: _____

Project Address: _____

Developer: _____

 Phone: _____

 Address: _____

 Email: _____

Architect/Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Landscape Architect/
Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Contractor: _____

 Phone: _____

 Address: _____

 Email: _____

Compliance Deposit: \$10,000

Developer's Signature: _____ Date: _____

For Architectural Review Committee use only:

Submittal Date: _____

Meeting Date: _____

Site Visit Date: _____

TOWNHOUSE: FINAL MASTER PLAN DESIGN REVIEW SUBMITTAL PROCESS

The deadline for Design Review submittals is one week prior to the ARC meetings. ARC meetings are held every other Tuesday, which means any submittals you intend to have reviewed need to be submitted to the ARC office, and accepted as complete, by 1:00 PM Monday, one week prior to the scheduled meeting. All submittals will be reviewed for completeness when received. Incomplete submittals will not be accepted for review.

To submit a project for Final Master Plan Design Review the Applicant must complete the two procedures outlined below:

The Applicant must email the following:

- A scanned PDF of the completed Final Master Plan Design Review Application (Appendix-TH-C in the Tetherow Townhouse Design Guidelines)
- PDFs of the entire submittal package, including all required drawings and documents.
- All drawing must be compiled into a single PDF document.
- A PDF of the written description of the design intent.
- A scanned PDF of all checks for Design Review Fees and/or Compliance Deposits.

Email the PDFs to the following email address:

ARC@TetherowOwners.com

- In lieu of emailing the above items, a USB flash drive containing all of the required drawings and documents may be delivered to Tetherow ARC office (see address below).

The Applicant must mail or deliver the following:

- A copy of the completed Final Master Plan Design Review Application (Appendix- TH-C in the Tetherow Townhouse Design Guidelines)
- A full-sized hard copy of the entire submittal package.
- Four (4) hard copies of the entire submittal package. All drawings must be in an 11x17 landscape format.
- A check to cover all required Design Review Fees and/or Compliance Deposits.

Mail the copies to the following address:

Tetherow ARC
61239 Tetherow Drive, Suite 207
Bend, OR 97702

TOWNHOUSE: FINAL MASTER PLAN DESIGN REVIEW SUBMITTAL REQUIREMENTS

This is a Final Review and, as such, all plans and drawings must be presented at a level of detail and refinement necessary to convey the design intent for the constructed project. The following plans, drawings, and documents are required for a Final Master Plan Design Review submittal:

SITE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one foot intervals.
- Proposed grade changes at one foot intervals.
- The location, type, and size of all significant trees or heritage trees on the site with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Proposed Unit lot boundaries.
- Footprints of all townhouses and accessory structures.
- Proposed grade elevation of the first floor of all structures.
- Grade elevations of the major corners of the foundations in relationship to existing grade.
- Roof Overhangs.
- Highest ridge elevation in relationship to existing grade of each townhouse.
- Site improvements in Common Areas.
 - Interior roads.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa, hot tub, pool facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- Site improvements on Unit lots.
 - Driveways.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).

Appendix-TH-C

- Lot Coverage Summary for each Unit lot.
 - Total area of the roof defined by the eave line.
 - Total area of hardscape that extends beyond the roof eaves. This includes patios, terraces, decks, driveways, auto courts, and walkways.
 - Total area of the service yard.
 - Total area within courtyards not already included in the three items above.
 - Total area of the four items above.
 - Total lot area.
 - Percentage of lot coverage.

PHASING PLAN

- The Site Plan is to serve as the base for this plan.
- Depict the proposed phases of development for the townhouse neighborhood.

TOWNHOUSE FLOOR PLANS

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Gross square footage of each floor level.
- Net square footage of each floor level (excludes garage and unheated storage space).
- Floor plans must accurately reflect the exterior elevations (window size & placement, etc.).
- Building floor plans must be shown in their correct orientation. Stock plans that are mirrored images of the intended building floor plans will not be accepted.

TOWNHOUSE BUILDING ELEVATIONS

- Drawing scale to match scale used on floor plans.
- All exterior components, features, and materials clearly identified on each building elevation including windows, doors, garage doors, roofs, exterior wall coverings, trim, foundations, patios, porches, decks, stairways, railings, spas or hot tubs, retaining walls, exterior lighting, service yards, dog runs, and meter housings.
- Proposed grade elevation of the first floor of all structures drawn and noted on each building elevation.
- Elevation of the highest point of the roof ridge in relation to the existing grade noted on each building elevation.
- Accurate existing and proposed grades drawn and noted on each building elevation.
- Each building elevation must be shown in their correct orientation. Stock plans that are mirrored images of the intended building elevations will not be accepted.

LANDSCAPE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Construction Area boundaries.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one foot intervals.
- Proposed grade changes at one foot intervals.

Appendix-TH-C

- The location, type, and size of all significant trees or heritage trees on the site with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Proposed Unit lot boundaries.
- Footprints of all townhouses and accessory structures.
- Grade elevations of the major corners of the foundation in relationship to existing grade.
- Roof Overhangs.
- Site improvements in Common Areas.
 - Interior roads and parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa, hot tub, pool facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- Site improvements on Unit lots.
 - Driveways and parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- For all Common Areas and the streetscapes, indicate the types, locations, quantities, and sizes of all proposed plant materials with planting zones clearly identified.
- For all Unit lots, indicate the general types and locations of all proposed plant materials with planting zones clearly identified.

IRRIGATION PLAN

- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All Common Area site elements shown in the Landscape Plan with shrubs and groundcovers indicated by general grouping, not individual plants.
- Common Area valves, mainline runs, sleeving, and controller locations and descriptions.
- Common Area Zoning diagrams graphically depicting irrigation and planting zones descriptions: i.e. Zone 1 - Shrubs/Spray Heads; Zone 2 – Shrubs/Inline Drip; Zone 3 – Trees/Bubblers; etc.
- Limits of existing native vegetation to remain.
- Final head layout is encouraged, but not required.
- Depict the general areas to be irrigated on the townhouse lots.

Appendix-TH-C

SITE LIGHTING

- The Site Plan is to serve as the base for this plan.
- Provide the locations of all proposed site lighting in the Common Areas of the site on the plan, indicating fixture types, the total number of each fixture, and wattage of each fixture.
- Catalog cuts or drawings for all proposed site lighting fixtures to be placed in the Common Areas of the parcel.

DRAINAGE PLAN

- The Site Plan is to serve as the base for this plan.
- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All drainage patterns and on-site retention and disposal areas to be shown on the plan.
- Document outlining stormwater assumptions and calculations.

CONSTRUCTION AREA PLAN

- The Site Plan is to serve as the base for this plan.
- One vehicular access route which must coincide with the approved road location.
- Fencing defining the boundary of the Construction Area.
- Tree Protection Zone fencing.
- The location and size of the construction material storage areas.
- Parking areas with the maximum number of spaces provided within each area.
- The locations of the chemical toilet, temporary construction trailer/structure, dumpster and debris storage, temporary power, and firefighting equipment.
- Fueling and staging areas.
- Concrete wash pit area.
- Areas of utility trenching.
- Limits of excavation.
- The location and size of stockpiles containing excavated materials, top soil, and duff.
- Site drainage patterns.
- Erosion control measures for the site.
- If the project is to be developed in phases, then a Construction Area Plan shall be shown for each phase.

SITE STAKING

- Parcel boundaries marked by stakes and ropes.
- Lot boundaries marked by stakes and ropes.

TOWNHOUSE: DESIGN TYPES DESIGN REVIEW APPLICATION

Townhouse Tract: _____

Project Address: _____

Developer: _____

 Phone: _____

 Address: _____

 Email: _____

Architect/Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Landscape Architect/
Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Contractor: _____

 Phone: _____

 Address: _____

 Email: _____

Application Fee: \$1,500 per Design Type

Developer's Signature: _____ Date: _____

For Architectural Review Committee use only:

Submittal Date: _____

Meeting Date: _____

Site Visit Date: _____

TOWNHOUSE: DESIGN TYPES DESIGN REVIEW PROCESS

The deadline for Design Review submittals is one week prior to the ARC meetings. ARC meetings are held every other Tuesday, which means any submittals you intend to have reviewed need to be submitted to the ARC office, and accepted as complete, by 1:00 PM Monday, one week prior to the scheduled meeting. All submittals will be reviewed for completeness when received. Incomplete submittals will not be accepted for review.

To submit a project for Design Types Design Review the Applicant must complete the two procedures outlined below:

The Applicant must email the following:

- A scanned PDF of the completed Design Types Design Review Design Review Application (Appendix- TH-D in the Tetherow Townhouse Design Guidelines)
- PDFs of the entire submittal package, including all required drawings and documents.
- All drawing must be compiled into a single PDF document.
- A PDF of the written description of the design intent.
- A scanned PDF of all checks for Design Review Fees and/or Compliance Deposits.

Email the PDFs to the following email address:

ARC@TetherowOwners.com

- In lieu of emailing the above items, a USB flash drive containing all of the required drawings and documents may be delivered to Tetherow ARC office (see address below).

The Applicant must mail or deliver the following:

- A copy of the completed Design Types Design Review Application (Appendix- TH-D in the Tetherow Townhouse Design Guidelines)
- A full-sized hard copy of the entire submittal package.
- Four (4) hard copies of the entire submittal package. All drawings must be in an 11x17 landscape format.
- A check to cover all required Design Review Fees and/or Compliance Deposits.

Mail the copies to the following address:

Tetherow ARC
61239 Tetherow Drive, Suite 207
Bend, OR 97702

TOWNHOUSE: DESIGN TYPES DESIGN REVIEW SUBMITTAL REQUIREMENTS

This is a Final Review and, as such, all plans and drawings must be presented at a level of detail and refinement necessary to convey the design intent for the constructed project. The following plans, drawings, and documents are required for a Design Types Design Review submittal:

TOWNHOUSE FLOOR PLANS

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Gross square footage of each floor level.
- Net square footage of each floor level (excludes garage and unheated storage space).
- Floor plans must accurately reflect the exterior elevations (window size & placement, etc.).
- Building floor plans must be shown in their correct orientation. Stock plans that are mirrored images of the intended building floor plans will not be accepted.

TOWNHOUSE BUILDING ELEVATIONS

- Drawing scale to match scale used on floor plans.
- All exterior components, features, and materials clearly identified on each building elevation including windows, doors, garage doors, roofs, exterior wall coverings, trim, foundations, patios, porches, decks, stairways, railings, spas or hot tubs, retaining walls, exterior lighting, service yards, dog runs, and meter housings.
- Grade elevation of the first floor of all structures drawn and noted on each building elevation.
- Elevation of the highest point of the roof ridge in relation to the existing grade noted on each building elevation.
- Each building elevation must be shown in their correct orientation. Stock plans that are mirrored images of the intended building elevations will not be accepted.

TOWNHOUSE: FINAL TOWNHOUSE DESIGN REVIEW APPLICATION

Townhouse Tract: _____

Townhouse Lot: _____

Project Address: _____

Developer: _____

 Phone: _____

 Address: _____

 Email: _____

Architect/Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Landscape Architect/
Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Contractor: _____

 Phone: _____

 Address: _____

 Email: _____

Application Fee: \$500 per Unit

Compliance Deposit: \$2,500 per Unit

Developer's Signature: _____ Date: _____

For Architectural Review Committee use only:

Submittal Date: _____

Meeting Date: _____

Site Visit Date: _____

TOWNHOUSE: FINAL TOWNHOUSE DESIGN REVIEW PROCESS

The deadline for Design Review submittals is one week prior to the ARC meetings. ARC meetings are held every other Tuesday, which means any submittals you intend to have reviewed need to be submitted to the ARC office, and accepted as complete, by 1:00 PM Monday, one week prior to the scheduled meeting. All submittals will be reviewed for completeness when received. Incomplete submittals will not be accepted for review.

To submit a project for Final Townhouse Design Review the Applicant must complete the two procedures outlined below:

The Applicant must email the following:

- A scanned PDF of the completed Final Townhouse Design Review Application (Appendix-TH-E in the Tetherow Townhouse Design Guidelines)
- PDFs of the entire submittal package, including all required drawings and documents.
- All drawing must be compiled into a single PDF document.
- A PDF of the written description of the design intent.
- A scanned PDF of all checks for Design Review Fees and/or Compliance Deposits.

Email the PDFs to the following email address:

ARC@TetherowOwners.com

- In lieu of emailing the above items, a USB flash drive containing all of the required drawings and documents may be delivered to Tetherow ARC office (see address below).

The Applicant must mail or deliver the following:

- A copy of the completed Final Townhouse Design Review Application (Appendix- TH-E in the Tetherow Townhouse Design Guidelines)
- A full-sized hard copy of the entire submittal package.
- Four (4) hard copies of the entire submittal package. All drawings must be in an 11x17 landscape format.
- A check to cover all required Design Review Fees and/or Compliance Deposits.

Mail the copies to the following address:

Tetherow ARC
61239 Tetherow Drive, Suite 207
Bend, OR 97702

TOWNHOUSE: FINAL TOWNHOUSE DESIGN REVIEW SUBMITTAL REQUIREMENTS

This is a Final Review and, as such, all plans and drawings must be presented at a level of detail and refinement necessary to convey the design intent for the constructed project. The following plans, drawings, and documents are required for a Final Townhouse Design Review submittal:

SITE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Construction Area boundaries.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one foot intervals.
- Proposed grade changes at one foot intervals.
- The location, type, and size of all significant trees or heritage trees on the lot with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Footprint of the townhouse, individual Units, and accessory structures.
- Proposed grade elevation of the first floor of all structures.
- Grade elevations of the major corners of the foundations in relationship to existing grade.
- Roof Overhangs.
- Highest ridge elevation in relationship to existing grade of each townhouse.
- Site improvements on Unit lots.
 - Driveways.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- Lot Coverage Summary for each Unit lot.
 - Total area of the roof defined by the eave line.
 - Total area of hardscape that extends beyond the roof eaves. This includes patios, terraces, decks, driveways, auto courts, and walkways.
 - Total area of the service yard.
 - Total area within courtyards not already included in the three items above.
 - Total area of the four items above.
 - Total lot area.
 - Percentage of lot coverage.

TOWNHOUSE FLOOR PLANS

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Gross square footage of each floor level.
- Net square footage of each floor level (excludes garage and unheated storage space).
- Floor plans must accurately reflect the exterior elevations (window size & placement, etc.).
- Building floor plans must be shown in their correct orientation. Stock plans that are mirrored images of the intended building floor plans will not be accepted.

TOWNHOUSE BUILDING ELEVATIONS

- Drawing scale to match scale used on floor plans.
- All exterior components, features, and materials clearly identified on each building elevation including windows, doors, garage doors, roofs, exterior wall coverings, trim, foundations, patios, porches, decks, stairways, railings, spas or hot tubs, retaining walls, exterior lighting, service yards, dog runs, and meter housings.
- Proposed grade elevation of the first floor of all structures drawn and noted on each building elevation.
- Elevation of the highest point of the roof ridge in relation to the existing grade noted on each building elevation.
- Accurate existing and proposed grades drawn and noted on each building elevation.
- Each building elevation must be shown in their correct orientation. Stock plans that are mirrored images of the intended building elevations will not be accepted.

LANDSCAPE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Construction Area boundaries.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one foot intervals.
- Proposed grade changes at one foot intervals.
- The location, type, and size of all significant trees or heritage trees on the site with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Footprints of the townhouses, individual units, and accessory structures.
- Grade elevations of the major corners of the foundation in relationship to existing grade.
- Roof Overhangs.
- Site improvements on Unit lots.
 - Driveways.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.

Appendix-TH-E

- Service yards, fences, and screens (indicate height and materials).
- For all Unit lots, indicate the types, locations, quantities, and sizes of all proposed plant materials with planting zones clearly identified.

IRRIGATION PLAN

- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All site elements shown in the Landscape Plan with shrubs and groundcovers indicated by general grouping, not individual plants.
- Valves, mainline runs, sleeving, and controller locations and descriptions.
- Zoning diagrams graphically depicting irrigation and planting zones descriptions: i.e. Zone 1 - Shrubs/Spray Heads; Zone 2 – Shrubs/Inline Drip; Zone 3 – Trees/Bubblers; etc.
- Limits of existing native vegetation to remain.
- Final head layout is encouraged, but not required.

SITE LIGHTING

- The Landscape Plan is to serve as the base for this plan.
- Provide the locations of all proposed site lighting on the plan, indicating fixture types, the total number of each fixture, and wattage of each fixture.
- Catalog cuts or drawings for all proposed site lighting fixtures.

COLOR AND MATERIAL SAMPLE BOARD

The Color and Material Sample Board shall be assembled using a reasonable sized base to adequately display the actual colors and materials proposed. The materials should be assembled in such a manner as to illustrate how the materials will be installed on the house. The assembly should reflect the scale, texture, and adjacency of materials and colors. The Sample Board must be accompanied by renderings and keyed elevations. The Sample Board must be reviewed and approved by the ARC prior to the installation of any exterior materials or colors. To that end, Sample Board submittals should be made at least 30 days prior to the installation of any exterior materials to avoid any construction delays.

To request a Sample Board Review by the ARC:

Email the PDFs of the Digital Sample Board to the following email address:
ARC@TetherowOwners.com

The following are submittal requirements for Sample Boards:

- Sample Board
 - Exterior windows.
 - Exterior siding and trim.
 - Exterior color and finishes.
 - Roofing materials and colors.
 - Exterior stone or brick.
 - Walkway, patio, and deck surface materials and colors.
 - Rendered and keyed elevations attached to board.

Appendix-TH-E

- Digital Sample Board
 - Applicant's name, lot number, and street address.
 - Digital photographs (PDF format) of the completed Sample Board with close-up photographs of individual colors and material samples.
 - Copies (PDF format) of all exterior lighting catalog cuts or drawings.
 - Any other information required to explain or clarify the submittal.

Once the Sample Board has been reviewed and approved by the ARC it shall remain on-site in a secure location and be available for inspection by the ARC at any time.

DRAINAGE PLAN

- The Landscape Plan is to serve as the base for this plan.
- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All drainage patterns and on-site retention and disposal areas to be shown on the plan.
- Document outlining stormwater assumptions and calculations.

CONSTRUCTION AREA PLAN

- The Site Plan is to serve as the base for this plan.
- One vehicular access route which must coincide with the approved road location.
- Fencing defining the boundary of the Construction Area.
- Tree Protection Zone fencing.
- The location and size of the construction material storage areas.
- Parking areas with the maximum number of spaces provided within each area.
- The locations of the chemical toilet, temporary construction trailer/structure, dumpster and debris storage, temporary power, and firefighting equipment.
- Fueling and staging areas.
- Concrete wash pit area.
- Areas of utility trenching.
- Limits of excavation.
- The location and size of stockpiles containing excavated materials, top soil, and duff.
- Site drainage patterns.
- Erosion control measures for the site.

SITE STAKING

- Lot boundaries marked by stakes and ropes.
- String layout of the Buildable Area boundaries.
- String layout of the corners of the foundations of the dwelling, accessory structures, decks, patios, terraces, retaining walls, rockery walls, and any other site improvements required to be built within the Buildable Area.

TOWNHOUSE: ADDITIONS AND ALTERATIONS DESIGN REVIEW APPLICATION

Townhouse Tract: _____

Townhouse Lot: _____

Project Address: _____

Owner: _____

 Phone: _____

 Address: _____

 Email: _____

Architect/Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Contractor: _____

 Phone: _____

 Address: _____

 Email: _____

Does the Applicant wish to present the proposal to the ARC? ___Yes ___No
(If yes, the Applicant will be notified to schedule the presentation.)

Application Fee: \$500

Compliance Deposit: \$2.00 per square foot \$ _____

Owner's Signature: _____ Date: _____

For Architectural Review Committee use only:

Submittal Date: _____

Meeting Date: _____

Site Visit Date: _____

TOWNHOUSE: ADDITIONS AND ALTERATIONS DESIGN REVIEW PROCESS

The deadline for Design Review submittals is one week prior to the ARC meetings. ARC meetings are held every other Tuesday, which means any submittals you intend to have reviewed need to be submitted to the ARC office, and accepted as complete, by 1:00 PM Monday, one week prior to the scheduled meeting. All submittals will be reviewed for completeness when received. Incomplete submittals will not be accepted for review.

To submit a project for Additions and Alterations Design Review the Applicant must complete the two procedures outlined below:

The Applicant must email the following:

- A scanned PDF of the completed Additions and Alterations Design Review Application (Appendix- TH-F in the Tetherow Townhouse Design Guidelines)
- PDFs of the entire submittal package, including all required drawings and documents.
- All drawing must be compiled into a single PDF document.
- A PDF of the written description of the design intent.
- A scanned PDF of all checks for Design Review Fees and/or Compliance Deposits.

Email the PDFs to the following email address:

ARC@TetherowOwners.com

- In lieu of emailing the above items, a USB flash drive containing all of the required drawings and documents may be delivered to Tetherow ARC office (see address below).

The Applicant must mail or deliver the following:

- A copy of the completed Additions and Alterations Design Review Application (Appendix- TH-F in the Tetherow Townhouse Design Guidelines)
- A full-sized hard copy of the entire submittal package.
- Four (4) hard copies of the entire submittal package. All drawings must be in an 11x17 landscape format.
- A check to cover all required Design Review Fees and/or Compliance Deposits.

Mail the copies to the following address:

Tetherow ARC
61239 Tetherow Drive, Suite 207
Bend, OR 97702

TOWNHOUSE: ADDITIONS AND ALTERATIONS DESIGN REVIEW SUBMITTAL

This is a Final Review and, as such, all plans and drawings must be presented at a level of detail and refinement necessary to convey the design intent for the constructed project. The following plans, drawings, and documents are required for an Additions and Alterations Design Review submittal:

SITE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Construction Area boundaries.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one foot intervals.
- Proposed grade changes at one foot intervals.
- The location, type, and size of all significant trees or heritage trees on the lot with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Footprint of the townhouse, individual Units, and accessory structures.
- Proposed grade elevation of the first floor of all structures.
- Grade elevations of the major corners of the foundations in relationship to existing grade.
- Roof Overhangs.
- Highest ridge elevation in relationship to existing grade of the townhouse.
- Site improvements on the Unit lot.
 - Driveways.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- Lot Coverage Summary of the Unit lot.
 - Total area of the roof defined by the eave line.
 - Total area of hardscape that extends beyond the roof eaves. This includes patios, terraces, decks, driveways, auto courts, and walkways.
 - Total area of the service yard.
 - Total area within courtyards not already included in the three items above.
 - Total area of the four items above.
 - Total lot area.
 - Percentage of lot coverage.

TOWNHOUSE FLOOR PLANS

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Gross square footage of each floor level.
- Net square footage of each floor level (excludes garage and unheated storage space).
- Floor plans must accurately reflect the exterior elevations (window size & placement, etc.).

TOWNHOUSE BUILDING ELEVATIONS

- Drawing scale to match scale used on floor plans.
- All exterior components, features, and materials clearly identified on each building elevation including windows, doors, garage doors, roofs, exterior wall coverings, trim, foundations, patios, porches, decks, stairways, railings, spas or hot tubs, retaining walls, exterior lighting, service yards, dog runs, and meter housings.
- Proposed grade elevation of the first floor of all structures drawn and noted on each building elevation.
- Elevation of the highest point of the roof ridge in relation to the existing grade noted on each building elevation.
- Accurate existing and proposed grades drawn and noted on each building elevation.

COLOR AND MATERIAL SAMPLE BOARD

The Color and Material Sample Board shall be assembled using a reasonable sized base to adequately display the actual colors and materials proposed. The materials should be assembled in such a manner as to illustrate how the materials will be installed on the house. The assembly should reflect the scale, texture, and adjacency of materials and colors. The Sample Board must be accompanied by renderings and keyed elevations. The Sample Board must be reviewed and approved by the ARC prior to the installation of any exterior materials or colors. To that end, Sample Board submittals should be made at least 30 days prior to the installation of any exterior materials to avoid any construction delays.

To request a Sample Board Review by the ARC:

Email the PDFs of the Digital Sample Board to the following email address:

ARC@TetherowOwners.com

The following are submittal requirements for Sample Boards:

- Sample Board
 - Exterior windows.
 - Exterior siding and trim.
 - Exterior color and finishes.
 - Roofing materials and colors.
 - Exterior stone or brick.
 - Walkway, patio, and deck surface materials and colors.
 - Rendered and keyed elevations attached to board.

Appendix-TH-F

- Digital Sample Board
 - Applicant's name, lot number, and street address.
 - Digital photographs (PDF format) of the completed Sample Board with close-up photographs of individual colors and material samples.
 - Copies (PDF format) of all exterior lighting catalog cuts or drawings.
 - Any other information required to explain or clarify the submittal.

Once the Sample Board has been reviewed and approved by the ARC it shall remain on-site in a secure location and be available for inspection by the ARC at any time.

DRAINAGE PLAN

- The Landscape Plan is to serve as the base for this plan.
- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All drainage patterns and on-site retention and disposal areas to be shown on the plan.
- Document outlining stormwater assumptions and calculations.

CONSTRUCTION AREA PLAN

- The Site Plan is to serve as the base for this plan.
- One vehicular access route which must coincide with the approved road location.
- Fencing defining the boundary of the Construction Area.
- Tree Protection Zone fencing.
- The location and size of the construction material storage areas.
- Parking areas with the maximum number of spaces provided within each area.
- The locations of the chemical toilet, temporary construction trailer/structure, dumpster and debris storage, temporary power, and firefighting equipment.
- Fueling and staging areas.
- Concrete wash pit area.
- Areas of utility trenching.
- Limits of excavation.
- The location and size of stockpiles containing excavated materials, top soil, and duff.
- Site drainage patterns.
- Erosion control measures for the site.

SITE STAKING

- Lot boundaries marked by stakes and ropes.
- String layout of the Buildable Area boundaries.
- String layout of the corners of the foundations of the dwelling, accessory structures, decks, patios, terraces, retaining walls, rockery walls, and any other site improvements required to be built within the Buildable Area.

TOWNHOUSE: LANDSCAPE DESIGN REVIEW APPLICATION FOR DESIGN TYPE ALTERATIONS

Townhouse Tract: _____

Townhouse Lot: _____

Project Address: _____

Owner: _____

 Phone: _____

 Address: _____

 Email: _____

Landscape Architect/
Designer: _____

 Phone: _____

 Address: _____

 Email: _____

Contractor: _____

 Phone: _____

 Address: _____

 Email: _____

Does the Applicant wish to present the proposal to the ARC? ___Yes ___No
(If yes, the Applicant will be notified to schedule the presentation.)

Application Fee: \$500

Compliance Deposit: \$2.00 per square foot \$_____

Owner's Signature: _____ Date: _____

For Architectural Review Committee use only:

Submittal Date: _____

Meeting Date: _____

Site Visit Date: _____

TOWNHOUSE: LANDSCAPE DESIGN REVIEW FOR DESIGN TYPE ALTERATIONS PROCESS

The deadline for Design Review submittals is one week prior to the ARC meetings. ARC meetings are held every other Tuesday, which means any submittals you intend to have reviewed need to be submitted to the ARC office, and accepted as complete, by 1:00 PM Monday, one week prior to the scheduled meeting. All submittals will be reviewed for completeness when received. Incomplete submittals will not be accepted for review.

To submit a project for Landscape Alterations Design Review the Applicant must complete the two procedures outlined below:

The Applicant must email the following:

- A scanned PDF of the completed Landscape Alterations Design Review Application (Appendix- TH-G in the Tetherow Townhouse Design Guidelines)
- PDFs of the entire submittal package, including all required drawings and documents.
- All drawing must be compiled into a single PDF document.
- A PDF of the written description of the design intent.
- A scanned PDF of all checks for Design Review Fees and/or Compliance Deposits.

Email the PDFs to the following email address:

ARC@TetherowOwners.com

- In lieu of emailing the above items, a USB flash drive containing all of the required drawings and documents may be delivered to Tetherow ARC office (see address below).

The Applicant must mail or deliver the following:

- A copy of the completed Landscape Alterations Design Review Application (Appendix- TH-G in the Tetherow Townhouse Design Guidelines)
- A full-sized hard copy of the entire submittal package.
- Four (4) hard copies of the entire submittal package. All drawings must be in an 11x17 landscape format.
- A check to cover all required Design Review Fees and/or Compliance Deposits.

Mail the copies to the following address:

Tetherow ARC
61239 Tetherow Drive, Suite 207
Bend, OR 97702

TOWNHOUSE: LANDSCAPE DESIGN REVIEW FOR DESIGN TYPE ALTERATIONS SUBMITTAL

This is a Final Review and, as such, all plans and drawings must be presented at a level of detail and refinement necessary to convey the design intent for the constructed project. The following plans, drawings, and documents are required for a Landscape Alterations Design Review submittal:

LANDSCAPE PLAN

- Drawing Scale: drawing must be legible when printed on 11x17 paper.
- North Arrow.
- Property boundaries, setbacks, and all easements.
- Construction Area boundaries.
- Surveyed outline of exterior walls, decks, and other structures falling within 25 feet of the property line shared with adjacent properties.
- Surveyed site topography at one foot intervals.
- Proposed grade changes at one foot intervals.
- The location, type, and size of all significant trees or heritage trees on the lot with an indication of the trees that are to be retained and removed.
- Rock outcroppings.
- Utility stub locations.
- Footprint of the townhouse, individual Units, and accessory structures.
- Proposed grade elevation of the first floor of all structures.
- Grade elevations of the major corners of the foundations in relationship to existing grade.
- Roof Overhangs.
- Site improvements on the Unit lot.
 - Driveways.
 - Parking areas.
 - Walkways and paths.
 - Courtyards.
 - Decks, patios, terraces.
 - Spa/hot tub facilities.
 - Rockery walls and retaining walls with an indication of height and materials.
 - Service yards, fences, and screens (indicate height and materials).
- Lot Coverage Summary of the Unit lot.
 - Total area of the roof defined by the eave line.
 - Total area of hardscape that extends beyond the roof eaves. This includes patios, terraces, decks, driveways, auto courts, and walkways.
 - Total area of the service yard.
 - Total area within courtyards not already included in the three items above.
 - Total area of the four items above.
 - Total lot area.
 - Percentage of lot coverage.
- Indicate the types, locations, quantities, and sizes of all proposed plant materials with planting zones clearly identified.

Appendix-TH-G

IRRIGATION PLAN

- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All site elements shown in the Landscape Plan with shrubs and groundcovers indicated by general grouping, not individual plants.
- Valves, mainline runs, sleeving, and controller locations and descriptions.
- Zoning diagrams graphically depicting irrigation and planting zones descriptions: i.e. Zone 1 - Shrubs/Spray Heads; Zone 2 – Shrubs/Inline Drip; Zone 3 – Trees/Bubblers; etc.
- Limits of existing native vegetation to remain.
- Final head layout is encouraged, but not required.

SITE LIGHTING

- The Landscape Plan is to serve as the base for this plan.
- Provide the locations of all proposed site lighting on the plan, indicating fixture types, the total number of each fixture, and wattage of each fixture.
- Catalog cuts or drawings for all proposed site lighting fixtures.

DRAINAGE PLAN

- The Landscape Plan is to serve as the base for this plan.
- Drawing Scale (recommended: 1" = 10').
- North Arrow.
- All drainage patterns and on-site retention and disposal areas to be shown on the plan.
- Document outlining stormwater assumptions and calculations.

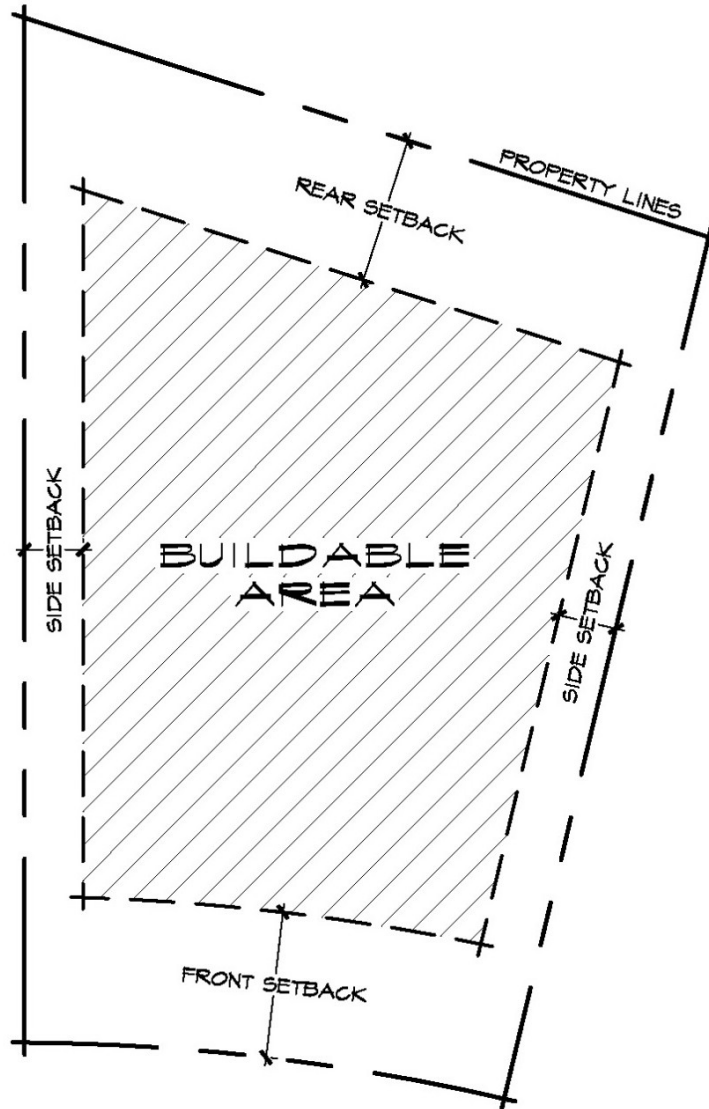
CONSTRUCTION AREA PLAN

- The Site Plan is to serve as the base for this plan.
- One vehicular access route which must coincide with the approved road location.
- Fencing defining the boundary of the Construction Area.
- Tree Protection Zone fencing.
- The location and size of the construction material storage areas.
- Parking areas with the maximum number of spaces provided within each area.
- The locations of the chemical toilet, temporary construction trailer/structure, dumpster and debris storage, temporary power, and firefighting equipment.
- Fueling and staging areas.
- Concrete wash pit area.
- Areas of utility trenching.
- Limits of excavation.
- The location and size of stockpiles containing excavated materials, top soil, and duff.
- Site drainage patterns.
- Erosion control measures for the site.

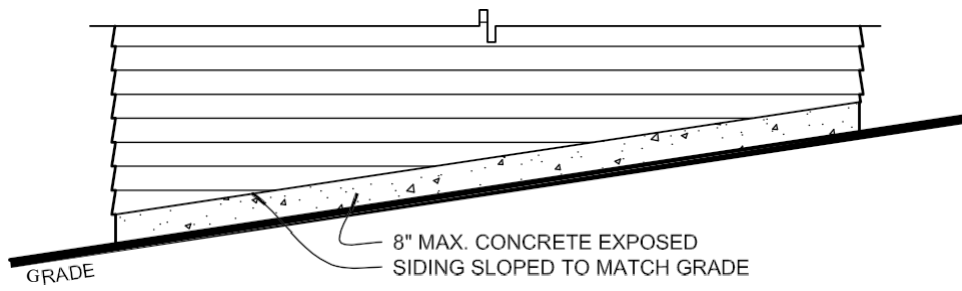
SITE STAKING

- Lot boundaries defined by stakes and ropes.

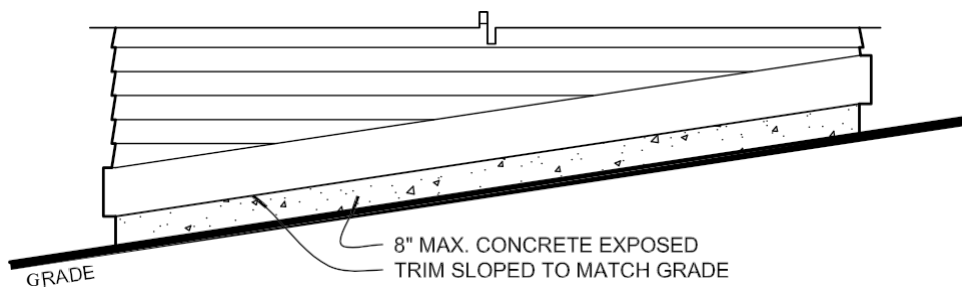
BUILDABLE AREA DIAGRAM



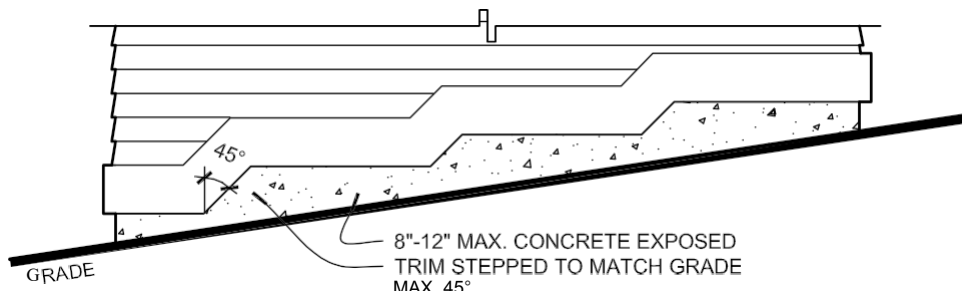
- NOTE:
1. SETBACK DISTANCES MAY VARY DEPENDING ON LOT LOCATION OR ADJACENT CONDITIONS. REFER TO THE DESIGN GUIDELINES TO DETERMINE THE SETBACKS FOR EACH INDIVIDUAL LOT.
 2. THE ARCHITECTURAL REVIEW COMMITTEE RESERVES THE RIGHT TO REVIEW AND APPROVE PROPOSED BUILDING LOCATIONS WITHIN THE BUILDABLE AREA.
 3. REFER TO THE DESIGN GUIDELINES FOR LOT COVERAGE REQUIREMENTS.



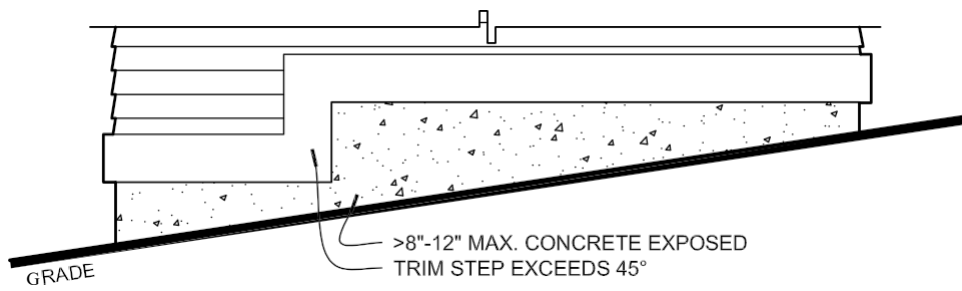
ACCEPTABLE



ACCEPTABLE



ACCEPTABLE

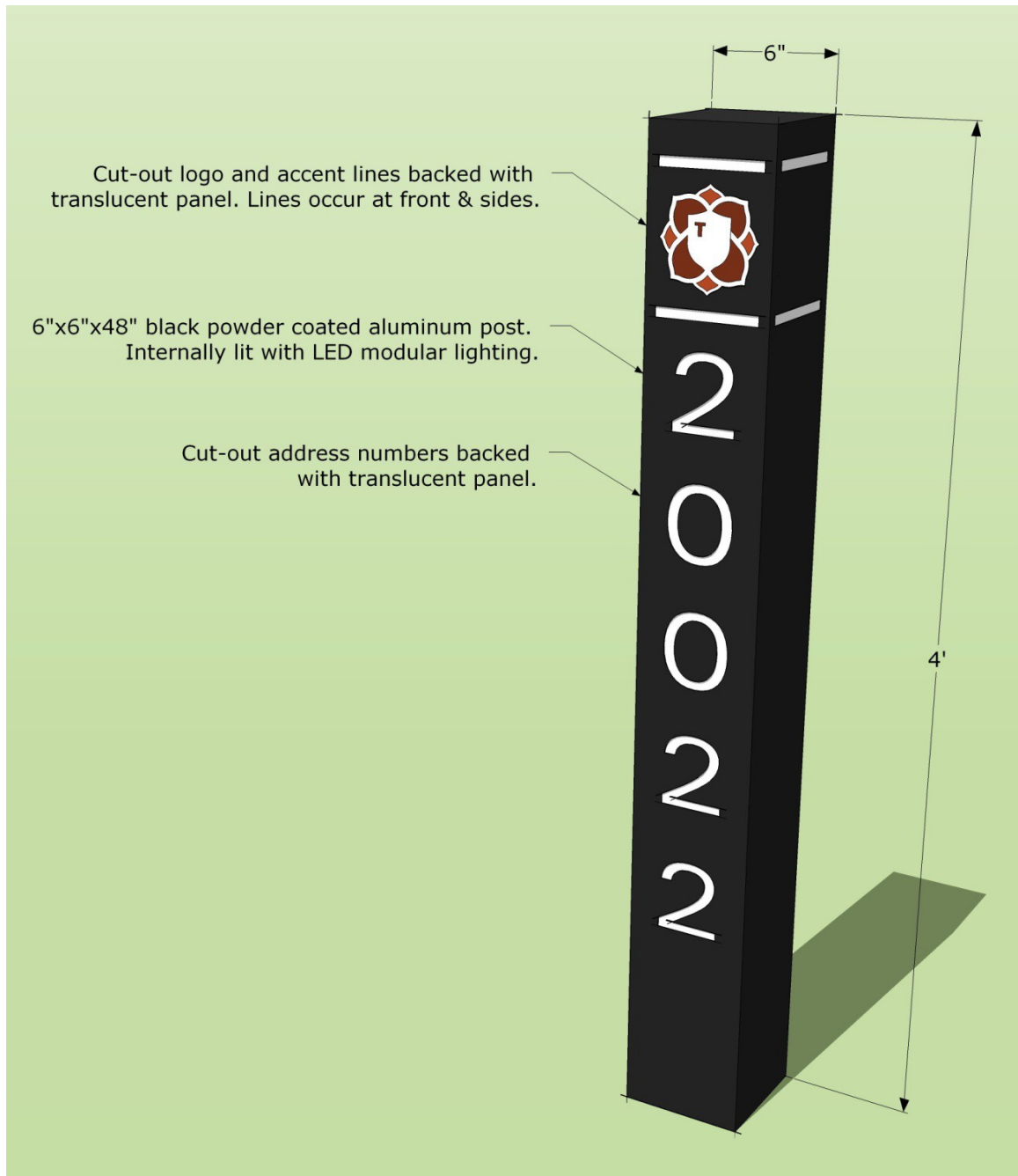


NOT ACCEPTABLE

SLOPED SIDING & TRIM

NOT TO SCALE

ADDRESS SIGN



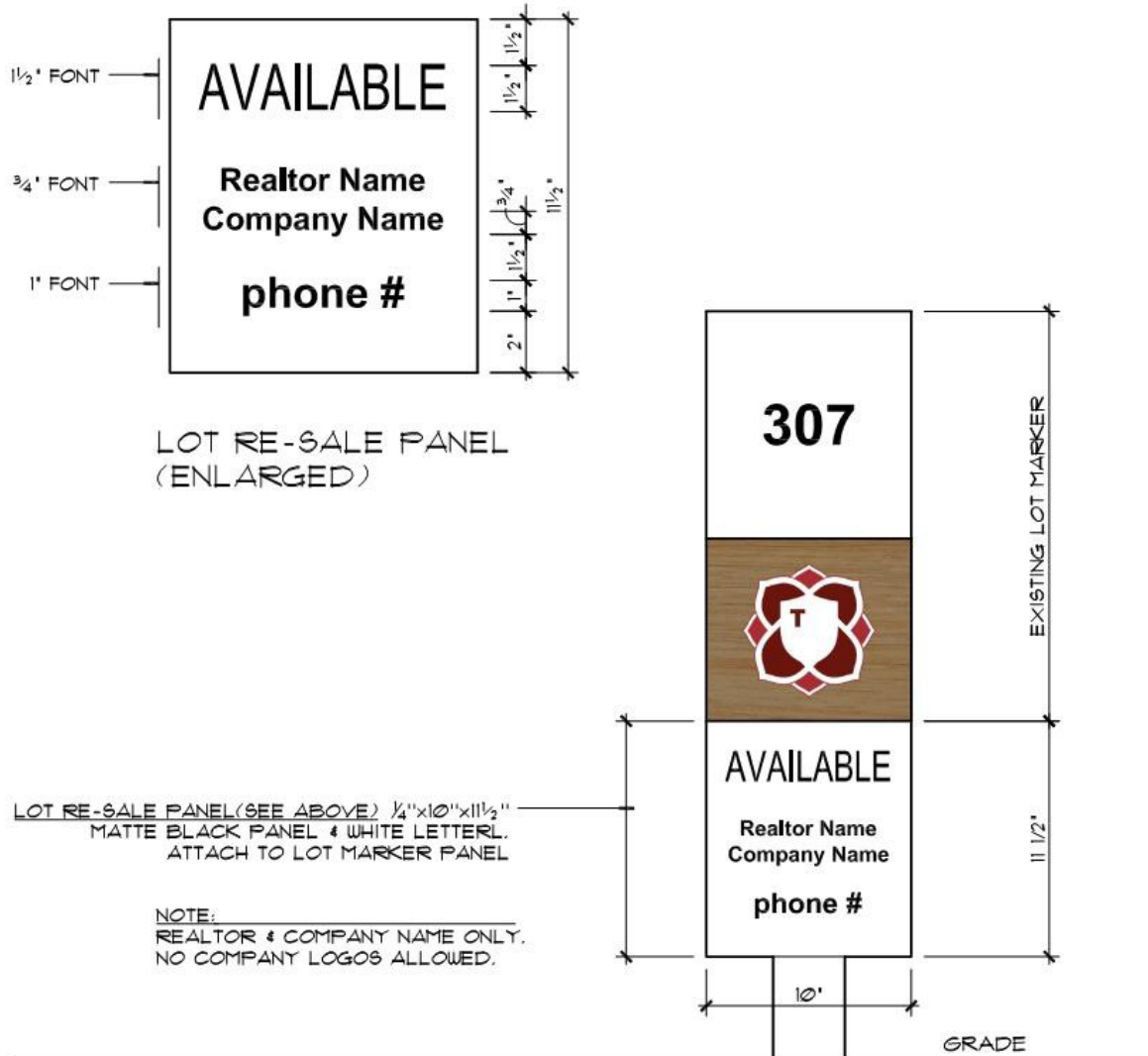
Note:

1. To maintain consistency throughout Tetherow, all Owners shall purchase their Address Sign Posts from Carlson Sign Co. (541-382-2182)
2. Sign shall be located at the Lot line adjacent to the driveway in a location visible to the street.
3. Provide underground electrical power to post location. Post light shall be controlled with a daylight sensor so that the address is constantly illuminated after dark.
4. Coordinate installation with Carlson Signs.
5. Townhome developers will submit townhouse address signs for approval by the ARC.

LOT RESALE SIGN

Note: This sign shall be purchased from M.C. Smith Sign & Graphics Co. (389-2471)
1515 NE 2nd St. Bend. No other signs will be allowed.

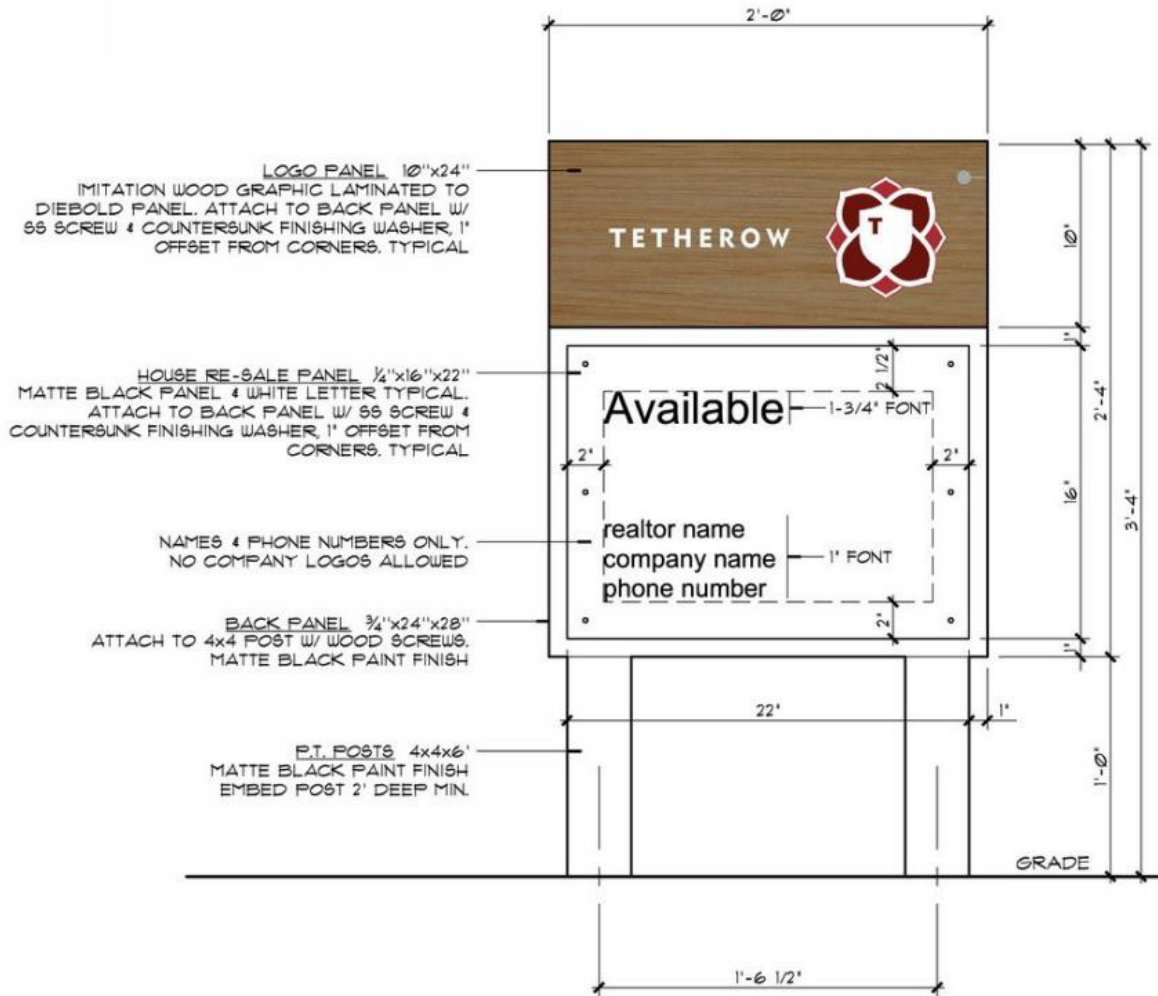
One sign is allowed per lot, facing the street. Signs cannot be placed facing the golf course.



TOWNHOUSE SALE SIGN

Note: This sign shall be purchased from M.C. Smith Sign & Graphics Co. (389-2471)
1515 NE 2nd St. Bend. No other signs will be allowed.

One sign is allowed per house, facing the street. Signs cannot be placed facing the golf course.



TOWNHOUSE NEIGHBORHOOD CONSTRUCTION SIGN

PROJECT OR MASTER PLAN SIGN

Project Sign (Temporary) must be approved by ARC prior to installation. Contact ARC office for sample.

MONUMENT SIGN

Monument Sign (Permanent) must be submitted to ARC for approval with the Master Plan submittal.

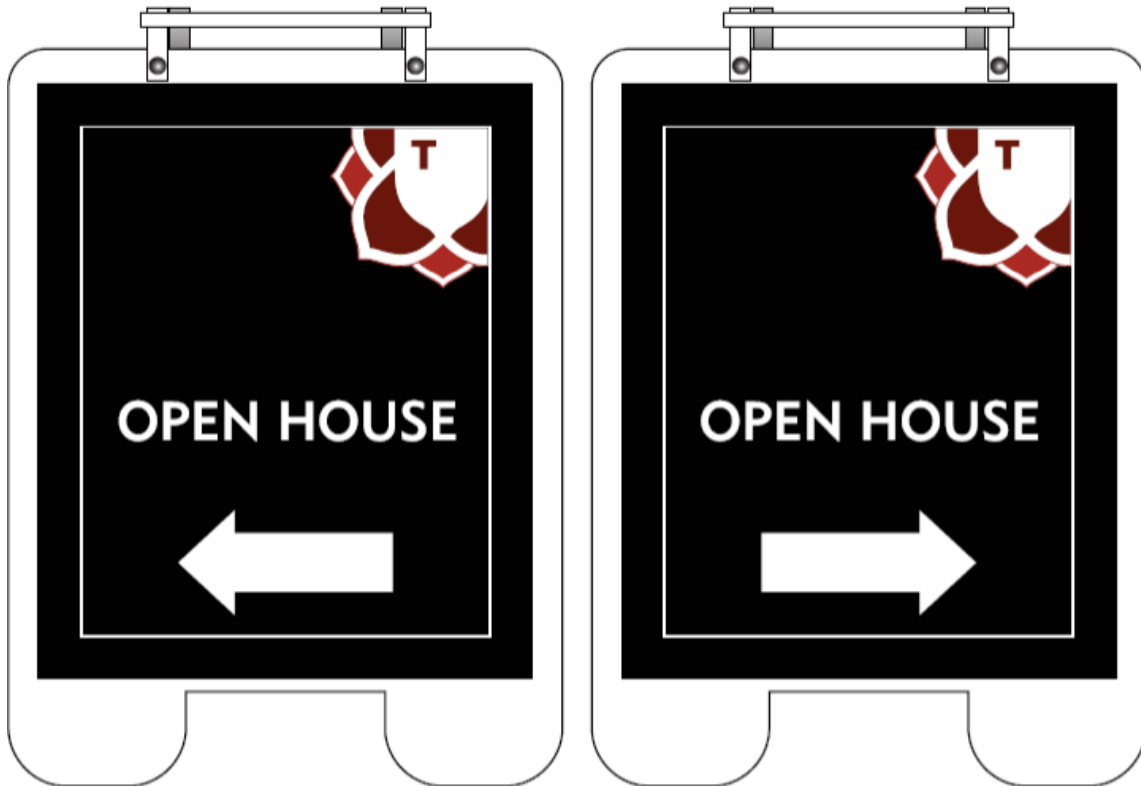
OPEN HOUSE & MODEL OPEN SIGNS

**Note: This sign shall be purchased from M.C. Smith Sign & Graphics Co. (541) 389-2471.
1515 NE 2nd St. Bend. No other signs will be allowed.**

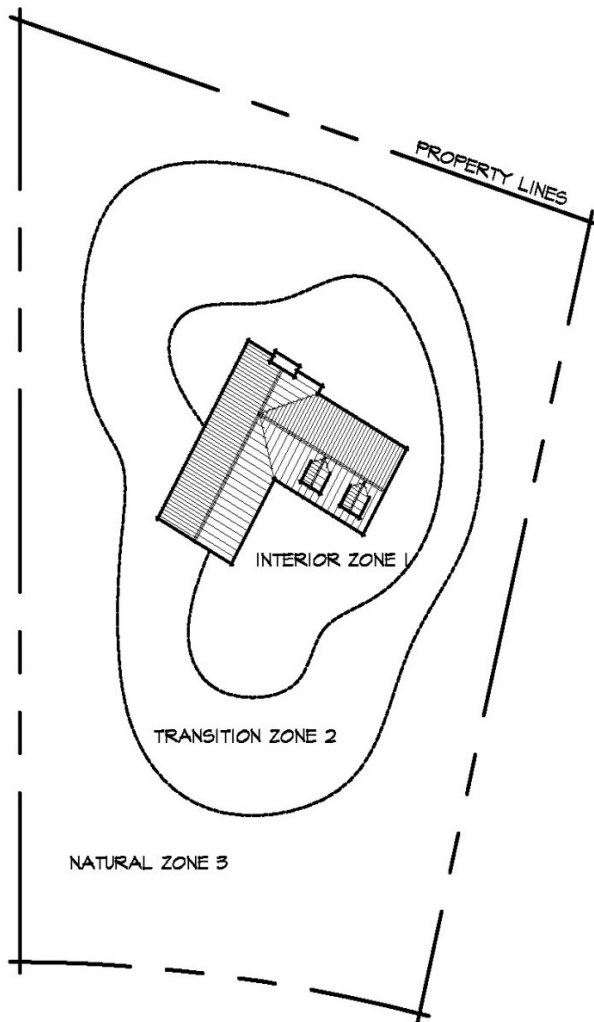
Open house signs are permitted during the course of the open house but must be removed at the conclusion of the open house and/or whenever the house is not “manned”.

For “Model Open” signs and approved hours, please contact the Tetherow ARC office (541) 647-6284.

A-FRAME, 23" x 31"



PLANTING ZONES



Interior Zone (1)

The Interior Zone is the area directly adjacent to the home and is reserved for the most intense and formal design elements. Note however that a formal landscape is not required. The Interior Zone may contain the greatest diversity of plant materials, including non-native varieties and will most likely incorporate the use of mow-type grasses or sod. Elements such as bird baths, sculptures, stream beds, water features, garden structures, etc. may be located in the Interior Zone and must be submitted as a part of the landscaping plan for review and approval. If added at a later time, the ARC should be contacted for approval.

Transition Zone (2)

The Transition Zone should serve to blend native and non-native plant material and will most likely contain fewer plants and varieties than the Interior Zone. Flower and herb gardens may be integrated into landscaping plans located in the Interior and Transition Zones. Vegetable gardens, which need fences or barriers for protection from wildlife, must be developed so as to comply with the regulations for Fencing outlined in the Guidelines.

Natural Zone (3)

This sensitive zone, which typically borders roadways, property lines, common areas, and golf course property, should contain original, natural and/or truly native plant materials. Every effort should be made to blend the landscape of this zone with the adjacent off-site landscape. Unless established by setback restrictions, the depth of this zone is a function of site conditions. Clearing of this zone should be limited to approved fire prevention efforts and elimination of weeds. Irrigation of this zone is discouraged other than to re-establish native plant materials during the first few years after planting and for Wildland Fire Protection.

- Note:
1. This drawing is intended as a general illustration of the landscaping zones. Actual zone size and location will be determined by actual site conditions and the unique landscape design.
 2. Formal lawns and plantings are not required in the Interior Zone 1. However, landscaping should be designed to meet wildland fire prevention requirements..
 3. The Natural Zones should be landscaped to blend with the existing off-site landscape so that there is not an abrupt landscape change at the property line.

Tetherow PlantList

Botanical Name	Common Name	Zones		
		1	2	3
<u>Trees</u>				
Acer spp.	Maples	X	X	
Aesculus hippocastanum	Horsechestnut	X	X	
Alnus tenuifolia	Mountain alder	X	X	
Betula spp.	Birch	X	X	
Crataegus spp.	Hawthorn	X	X	
Fagus spp.	Beech	X	X	
Fraxinus spp.	Ash	X	X	
Gledistia triacanthos	Honeylocust	X	X	
Larix occidentalis	Western larch	X	X	X
Malus spp.	Crabapple	X		
Pinus ponderosa	Ponderosa pine	X	X	X
Populus tremuloides	Quaking aspen	X	X	X
Populus spp.	Cottonwoods	X	X	
Prunus virginiana	Chokecherry	X	X	
Prunus spp.	Cherry	X	X	
Pyrus spp.	Ornamental Pears	X		
Quercus palustris	Pin oak	X	X	
Quercus rubra	Red oak	X	X	
Robinia pseudoacacia	Purple robe locust	X	X	
Sorbus aucuparia	European mountain ash	X	X	
Syringa spp.	Lilac	X		
<u>Shrubs</u>				
Acer spp.	Maples	X	X	
Amelanchier spp.	Serviceberry	X	X	
Berberis spp.	Barberry	X	X	
Buddleia spp.	Butterfly bush		X	
Caragana arborescens	Siberian pea tree	X		
Caryopeteris x clandonensis	Blue-mist spirea	X	X	
Chamaebatiaria millefolium	Desert Sweet	X	X	X
Cotoneaster apiculatus	Cranberry cotoneaster	X	X	
Cornus sericea	Redtwig dogwood	X	X	
Daphne x burkwoodii 'Carol Mackie'	Carol Mackie daphne	X		
Erica spp.	Heaths & Heathers	X	X	
Euonymus alatus	Burning bush	X		
Holodiscus discolor	Oceanspray	X	X	

Exhibit-D

Mahonia aquifolium	<i>Oregon grape</i>	X	X	
Philadelphus spp.	<i>Mockorange</i>	X	X	
Physocarpus opulifolius	<i>Ninebark</i>	X	X	
Potentilla spp.	<i>Cinquefoil</i>	X	X	
Prunus besseyi	<i>Western sandcherry</i>	X	X	
Rhododendron spp.	<i>Rhododendron</i>	X		
Rhus spp.	<i>Sumac</i>	X		
Ribes cereum	<i>Wax currant</i>	X	X	X
Ribes spp.	<i>Currant</i>	X	X	
Rosa woodsii	<i>Wood's rose</i>	X	X	
Sphaeralcea munroana	<i>Globemallow</i>	X	X	X
Spiraea x bumalda spp.	<i>Bumald spirea</i>	X	X	
Spiraea douglasii	<i>Western spirea</i>	X	X	
Spiraea japonica	<i>Japanese spirea</i>	X		
Symphiocarpus albus	<i>Snowberry</i>	X	X	
Syringa spp.	<i>Lilac</i>	X		
Viburnum trilobum	<i>American cranberry</i>	X		
Yucca spp.	<i>Yucca</i>	X	X	
<u>Grasses</u>				
Bouteloua gracilis	<i>Blue grama grass</i>	X	X	
Calamagrosis acutiflora	<i>Feather reed grass</i>	X	X	
Carex spp.	<i>Sedges</i>	X	X	
Festuca idahoensis	<i>Idaho fescue</i>	X	X	X
Festuca ovina 'glauca'	<i>Blue fescue</i>	X	X	
Helictotrichon sempervirens	<i>Blue oat grass</i>	X	X	
Pseudoroegneria spicata	<i>Bluebunch wheatgrass</i>	X	X	X
Sisyrinchium idahoensis	<i>Blue-eyed grass</i>	X	X	X
<u>Perennials</u>				
Achillea spp.	<i>Yarrow</i>	X	X	X
Agastache spp.	<i>Hummingbird mint</i>	X	X	
Allium schoenoprasum	<i>Chives</i>	X	X	
Aquilegia spp.	<i>Columbine</i>	X	X	
Artemisia frigida	<i>Fringed wormwood</i>		X	
Artemisia stellerana	<i>Dusty miller</i>	X	X	
Asclepias speciosa	<i>Snowy milkweed</i>	X	X	
Coreopsis spp.	<i>Coreopsis</i>	X	X	
Delphinium var.	<i>Delphinium</i>	X	X	
Echinacea spp.	<i>Coneflower</i>	X	X	
Epilobium angustifolium	<i>Fireweed</i>	X	X	

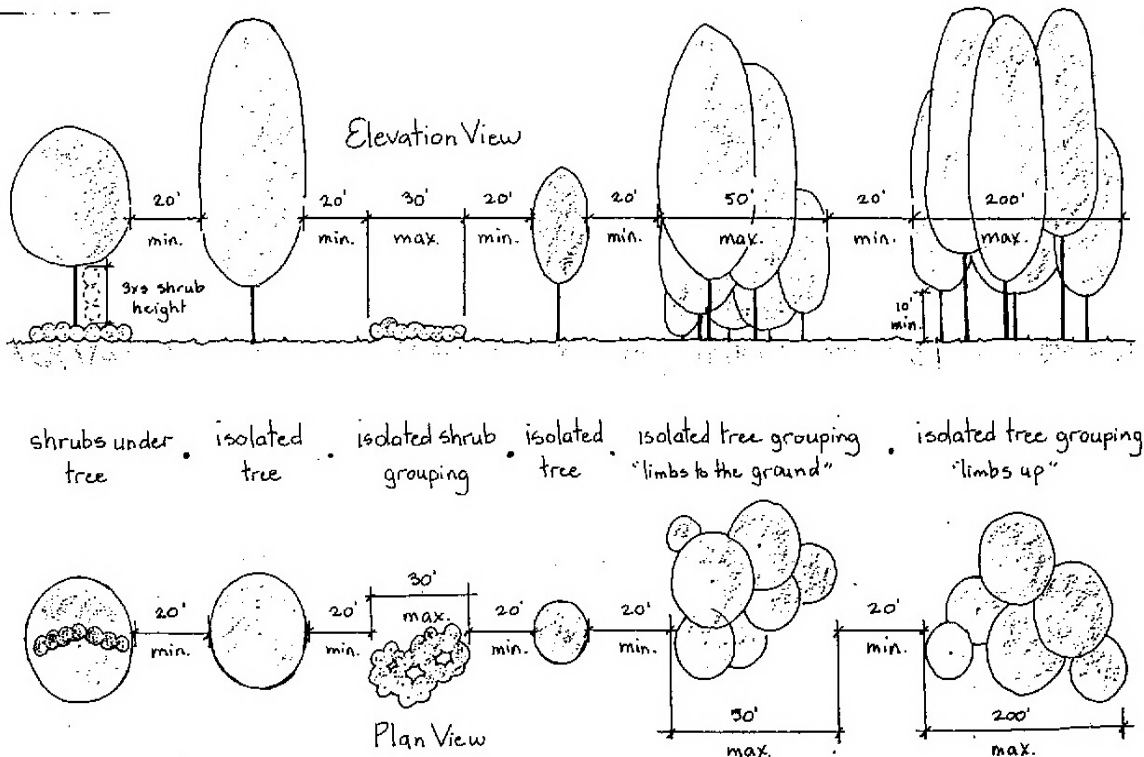
Exhibit-D

Gaillardia var.	<i>Blanket flower</i>	X	X	
Geranium spp.	<i>Hardy geranium</i>	X		
Geranium cinereum	<i>Grayleaf cranesbill</i>	X		
Helianthemum nummularium	<i>Rockrose</i>	X	X	
Hemerocallis spp.	<i>Daylily</i>	X		
Heuchera spp.	<i>Coral bells</i>	X		
Hosta spp.	<i>Plantain lilies</i>	X		
Iris hybrids	<i>Tall bearded iris</i>	X		
Lanvanda spp.	<i>Lavender</i>	X	X	
Leucanthemum spp.	<i>Shasta Daisy</i>	X	X	
Linum perenne	<i>Blue flax</i>	X	X	X
Lupinus spp.	<i>lupine</i>	X	X	X
Lonicera spp.	<i>Honeysuckle</i>	X	X	
Nepeta faassenii	<i>Catmint</i>	X	X	
Nepeta racemosa	<i>Catmint</i>	X	X	
Papaver orientale	<i>Oriental poppy</i>	X	X	
Penstemon spp.	<i>Penstemon</i>	X	X	
Peroviskia atriplicifolia	<i>Russian sage</i>		X	
Pulsatilla vulgaris	<i>Pasqueflower</i>	X		
Ratibida columnifera	<i>Prarie coneflower</i>	X	X	X
Salvia spp.	<i>Sage</i>	X	X	
<u>Vines</u>				
Clematis spp.	<i>Clematis</i>	X		
Lonicera spp.	<i>Honeysuckle</i>	X		
Parthenocissus quinquefolia	<i>Virginia creeper</i>	X		
<u>Groundcovers</u>				
Achillea spp.	<i>Yarrow</i>	X	X	X
Antennaria rosea	<i>Pink pussytoes</i>	X	X	
Ajuga reptans	<i>Carpet bugleweed</i>	X		
Arctostaphylos uva-ursi	<i>Kinnikinnick</i>	X	X	
Armeria maritima	<i>Sea thrift</i>	X	X	
Aurinia saxatile	<i>Basket-of-gold</i>	X	X	
Bergenia cordifolia	<i>Heartleaf bergenia</i>	X	X	
Carex spp.	<i>Sedges</i>	X	X	
Cerastium tomentosum	<i>Snow-in-summer</i>	X	X	
Coreopsis species	<i>Coreopsis</i>	X	X	
Delosperma cooperi	<i>Purple iceplant</i>	X	X	
Delosperma nubigenum	<i>Yellow iceplant</i>	X	X	
Dianthus spp.	<i>Dianthus</i>	X	X	
Duchesnea indica	<i>Mock strawberry</i>	X	X	

Exhibit-D

Epilobium angustifolium	<i>Fireweed</i>	X	X	
Eriogonum umbellatum	<i>Sulfer buckwheat</i>	X	X	X
Eriophyllum lanatum	<i>Oregon sunshine</i>	X	X	X
Fragaria spp.	<i>Wild strawberry</i>	X	X	
Geranium spp.	<i>Cranesbill</i>	X		
Galium odoratum	<i>Sweet woodruff</i>	X		
Helianthemum nummularium	<i>Sun rose</i>	X		
Hosta spp.	<i>Plantain lilies</i>	X		
Iris hybrids	<i>Tall bearded iris</i>	X	X	
Kniphofia uvuria	<i>Red-hot poker</i>	X	X	
Mahonia repens	<i>Creeping holly</i>	X	X	
Oenothera missouriensis	<i>Evening primrose</i>	X		
Penstemon spp.	<i>Penstemon</i>	X	X	
Phlox spp.	<i>Creeping phlox</i>	X	X	
Polemonium caeruleum	<i>Jacobs ladder</i>	X		
Sedum spp.	<i>Sedum & stonecrops</i>	X	X	
Stachys byzantina	<i>Lamb's ears</i>	X	X	
Thymus praecox	<i>Creeping thyme</i>	X	X	
Veronica spp.	<i>Speedwell</i>	X	X	

TREE AND SHRUB SPACING DIAGRAM



shrubs under tree isolated tree isolated shrub grouping isolated tree isolated tree grouping "limbs to the ground" isolated tree grouping "limbs up"

Shrubs & low growing plants: Less than 10% of the shrub component near individual trees and in isolated tree/shrub groupings is bitterbrush. Isolated bitterbrush groupings are present. Native grasses and forbs exist throughout the area. Ladder fuels are removed around individual trees.

Plant health: Plants are healthy, green, and substantially free of dead plant material.

Tree limb height: All dead branches have been removed to a height of 10'. Trees over 7" dbh have limbs 10' or more above grasses, ground covers, and exposed soil. No more than 1/3 of the live tree crown is removed. Spacing between the tree limbs and shrubs is 3 times the height of the shrub. When shrub to tree limb spacing cannot be achieved while maintaining 2/3 of the live crown, shrubs are removed to achieve required distance.

Spacing:

Individual trees: Trees 7" + dbh are spaced a minimum of 20' between the outer crown drip lines. Shrubs are located 20' away from the outer crown drip lines of trees.

Isolated tree groupings: There are 2 types of isolated tree groupings which are scattered throughout open spaces. The first isolated tree grouping has tree *limbs to the ground*. This isolated tree grouping is not larger than 50' in diameter. Less than 10% of any limbs to the ground tree grouping consists of shrubs. The second isolated tree grouping has tree *limbs up* above low growing vegetation a minimum of 10'. No shrubs exist in the limbs up tree grouping. This isolated tree grouping is typically no larger than 200' in diameter. Both isolated groupings vary in size and shape. Typically, trees over 7" dbh are spaced 14' - 18' trunk to trunk and may have intertwined crowns. Each isolated groupings is spaced 20' from the perimeter drip line to the perimeter drip line of adjacent individual trees or other isolated groupings.

Isolated shrub groupings: Isolated shrub groupings vary in size and are scattered throughout open spaces. Isolated shrub groupings are no larger than 30' in diameter. Isolated shrub groupings are spaced 20' from their perimeter drip line of the shrub group to the perimeter drip line of adjacent individual trees or other isolated groupings.

Standing dead trees: Isolated, non-hazardous, standing dead trees may exist randomly throughout the open space. No ladder fuels are within 20' of a standing dead tree.

Dead and down trees: Less than 5% of the area is comprised of non-continuous, down and dead trees.

Irrigation: Not necessary. Useful to establish new plantings.

Maintenance: Assess natural open spaces for conformance to these standards every 3 - 5 years. Mow around individual trees to a height of 4" to 6" as necessary to retain desired condition. Limb individual trees to *Natural Open Space* limbing standards. Plant and protect PP in areas where tree cover is sparse. Thin LP adjacent to PP. Thin small diameter LP trees in groupings retaining dominate trees with the best crowns in good health and a variety of diameters. Replace entire isolated tree grouping with PP when in decline. Remove and replace dead or dying plants. Replant or reseed low growing plants as necessary to retain an 80% vegetative ground cover in clear vision areas.

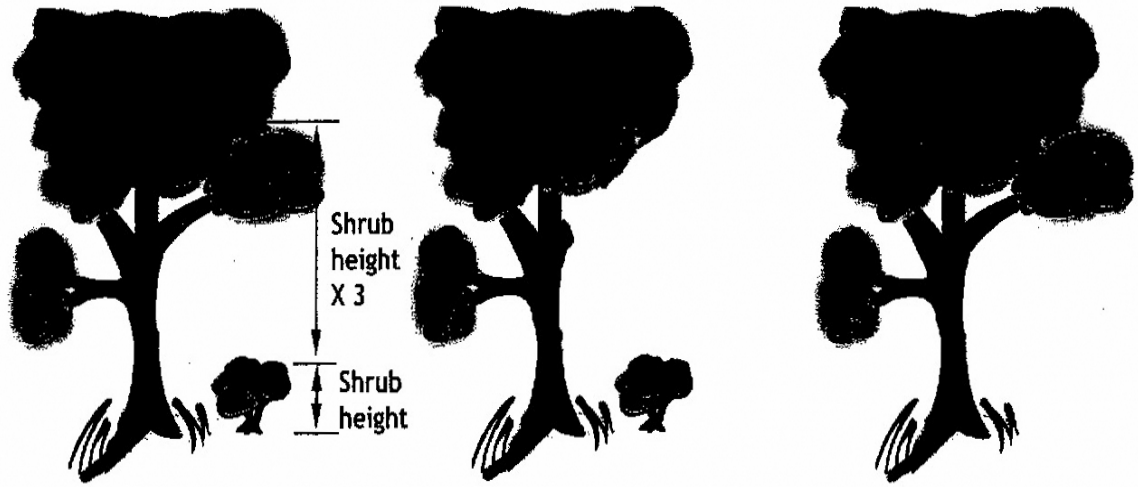
LADDER FUEL TRIM ZONE

How high can flames fly?

About three times higher than the height of the plant that is burning.

Shrub or tree height	1	2	3	4	5	6	7	8	9
Ladder fuel pruning height	3	6	9	12	15	18	21	24	27

All measurements in feet

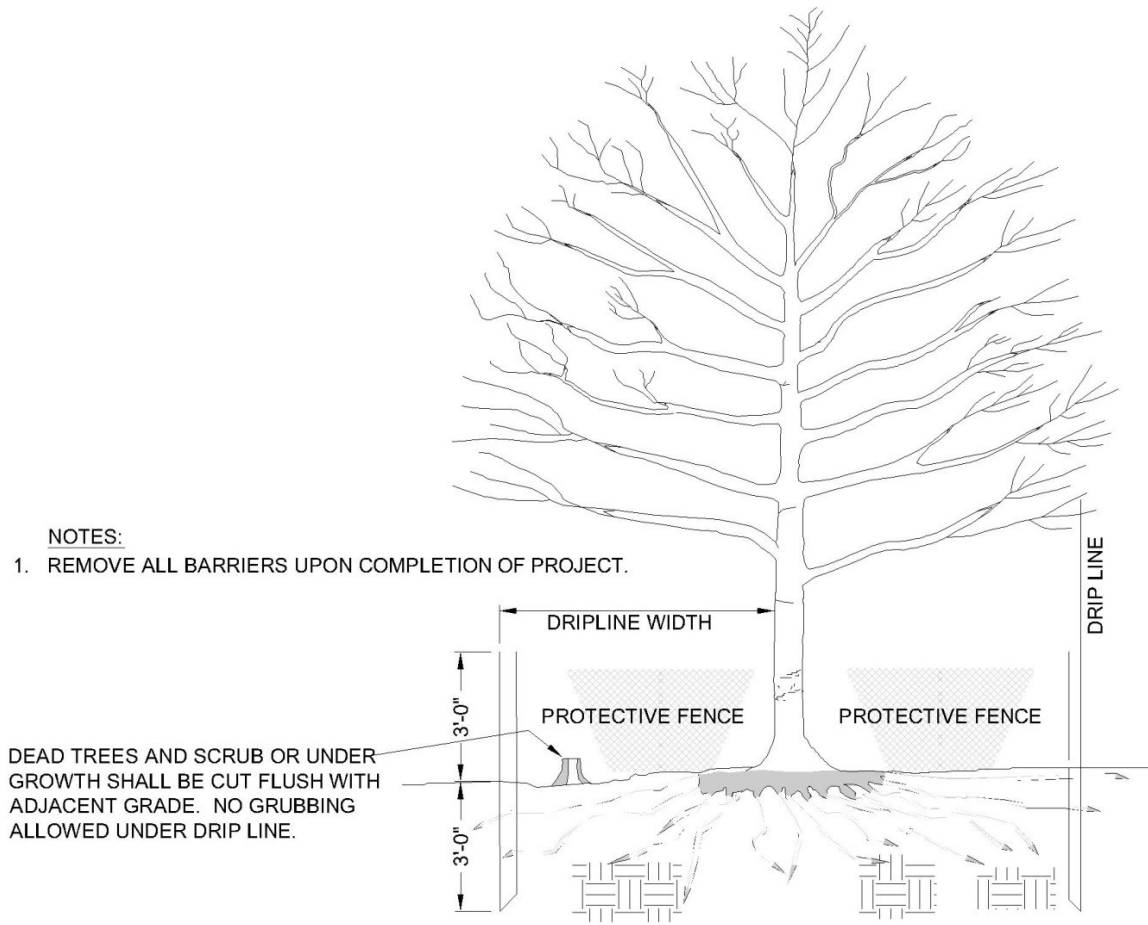


Ladder fuel trim zone:
Shrub height X 3

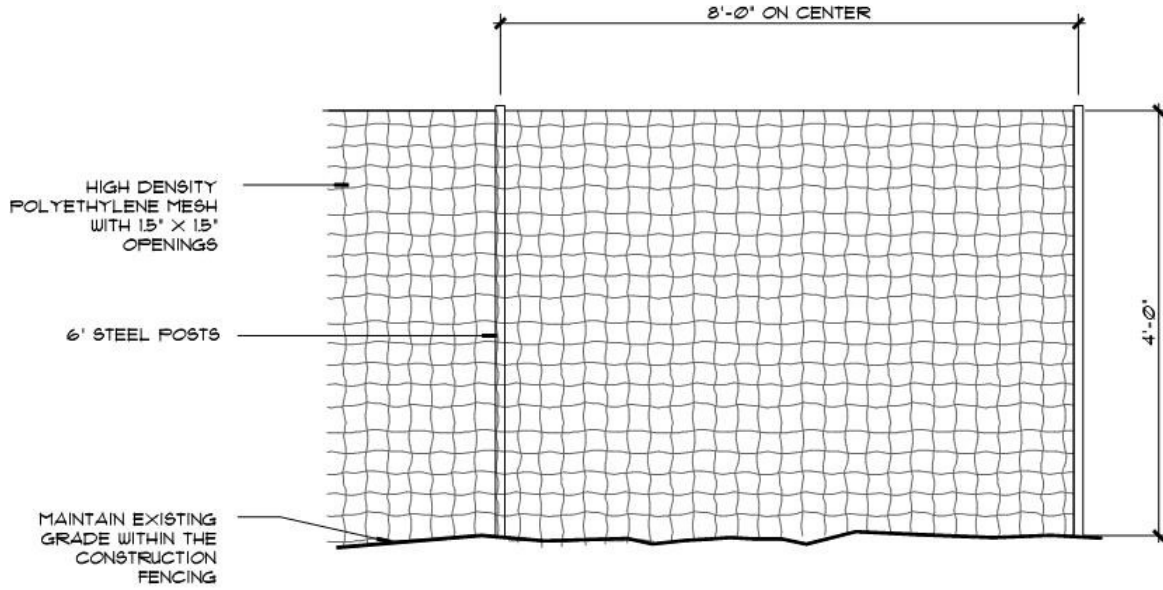
Option 1: Remove tree
limbs within the trim zone

Option 2: Remove the
shrub

TREE PROTECTION FENCING



CONSTRUCTION AREA FENCING



NOTES:

1. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
2. POLYETHYLENE FENCING MAY BE BROWN, GREEN OR ORANGE IN COLOR.
3. NO PEDESTRIAN TRAFFIC, EQUIPMENT STORAGE, CHEMICAL STORAGE, LUMBER, ETC. IS PERMITTED INSIDE THE PROTECTIVE FENCING.